

**APPLICATION FOR ACTION BY PLANNING BOARD
MARGATE, NEW JERSEY**

PLEASE
TYPE OR
PRINT

1. Date of Application: December 30, 2022

2. Zoning District:

S-60	Single Family Residential	<input type="checkbox"/>	MF	Multi-Family Residential	<input type="checkbox"/>
S-60-WF	Single- Family Residential	<input type="checkbox"/>	CBD	Central Business District	<input checked="" type="checkbox"/>
S-50	Single Family Residential	<input type="checkbox"/>	C-1	Commercial	<input type="checkbox"/>
S-40	Single Family Residential	<input type="checkbox"/>	C-2	Commercial/Business	<input type="checkbox"/>
S-40-WF	Single-Family Residential	<input type="checkbox"/>	WSD	Waterfront Special District	<input type="checkbox"/>
S-30	Single Family Residential	<input type="checkbox"/>	R	Riparian	<input type="checkbox"/>
S-25	Single Family Residential	<input type="checkbox"/>	WAPC	Washington Avenue Pedestrian Corr.	<input type="checkbox"/>
S-25 (HD)	Historic Single Family Residential	<input type="checkbox"/>	WSPA	Government and Open Space	<input type="checkbox"/>
TF	Two-Family Residential	<input type="checkbox"/>	I	Institutional Use	<input type="checkbox"/>
B	Beach	<input type="checkbox"/>			

3. Subject Parcel:

Street Address(es) 7903 Ventnor Avenue
 Block Number 207.03 Lot No(s) 4
 Total Area (in square feet) 9,375 SF
 Frontage: 125'
 Depth: 75'

4. Information about the Applicant:

Full name(s) Margate Burger LLC
 If Business Entity, Names of Officers or Principals (Submit disclosure statement if appropriate)
Domenic J. Pastore
Tami Pastore
 Local Residence Address 9614 Amherst Avenue, Margate Zip 08402
 Other Residence Address _____ Zip _____
 Business Address _____ Zip _____
 Phone Number(s) (include area code);
 Email Address eye2c@comcast.net
 Business _____ Fax _____ Cell Phone 609-385-6470

5. Interest in Subject Property:
 (Supply copies of relevant documents with this Application):

By lease dated _____

By Agreement of Sale dated _____

By Ownership of property since 2/29/2012

___ By other interest in law (describe):

6. If you do not own the Subject Property, provide the following regarding the Owner:

Name(s) _____

Address _____

Phone No. (include area code);
 Res. _____
 Bus. _____
 Fax _____
 Cell _____

7. Type of Application Applied For (check all applicable):

<input checked="" type="checkbox"/> C Variance(s)	<input type="checkbox"/> Minor Subdivision	<input type="checkbox"/> Interpretation (B Variance)
<input checked="" type="checkbox"/> D Variance(s)	<input type="checkbox"/> Major Subdivision	<input type="checkbox"/> Other (Explain) _____
<input type="checkbox"/> Minor Site Plan Action	<input type="checkbox"/> Conditional Use Permit	_____
<input checked="" type="checkbox"/> Major Site Plan Action	<input type="checkbox"/> Appeal (A)	_____

8. Application Made To: X Planning Board ___ Other

9. Professionals Representing the Applicant: (Check applicable professional and provide information)

___ Attorney: Name Steven M. Abramoff, Esquire Phone 609-484-1119
 Address 1555 Zion Road, Suite 102, Northfield, NJ 08225
 Fax 609-484-1139 Cell _____ Email abralaw@comcast.net

___ Architect: Name Peter C. Weiss Phone 609-822-9616
 Address 38 E. Oakcrest Avenue, Northfield, NJ 08225
 Fax _____ Cell _____ Email pwarchitect@comcast.net

___ Engineer: Name Jon J. Barnhart Phone 609-344-8194
 Address 400 N. Dover Avenue, Atlantic City, NJ 08401
 Fax _____ Cell _____ Email jbarnhart@aponzio.com

___ Preparer of Subdivision or Site Plan (if different from above)
 Name _____ Phone _____
 Address _____
 Fax _____ Cell _____

(Be sure to include all area codes and zip codes in the above)

10. If Site Plan Action is Required:

-What is the present use of the site and building(s)?
commercial restaurant

-How will this be changed?

The Applicant proposes to demolish the existing structure and replace it with 2 buildings each containing 1 commercial space at ground floor and 2 residential units above with parking and ancillary improvements

11. If Subdivision Action is Required:

-After conferring with the City Tax Assessor, provide lot numbers of new lot(s), dimensions, and area of each: (use extra pages, if necessary)

Lot No(s)	Dimension(s)	Area(s)
_____	_____ x _____	_____ S.F.
_____	_____ x _____	_____ S.F.
_____	_____ x _____	_____ S.F.

-Purpose of the Subdivision

- To sell lot(s)
- To build and sell homes (or other buildings)
- Other (please explain): _____

12. If Variances are Required:

(Note: Properly scaled site plan must show all dimensions relevant to variance analysis)

-Current use of lot(s) and building(s): commercial restaurant

-Proposed use: 2 commercial spaces at ground level, and 4 residential units above with parking

-If a "D" or "Use" Variance is required, please explain: restaurant to commercial/residential

-Regarding any dimensional variances required, please fill out the following chart:

Variance	Requirement of District	Present Condition	Proposed Condition
<u>Bldg. height</u>	<u>34' above curb</u>	<u>27' above curb</u>	<u>36' above curb</u>
<u>Parking comm.</u>	<u>1 space/200 sf</u>	<u>10</u>	<u>0</u>
<u>Use</u>	<u>CBD</u>	<u>restaurant & 2nd fl apt.</u>	<u>2 comm/4 residential</u>

13. Prior Action: Please detail any prior hearing and/or decision relevant to this application. Supply date, name of Board, and results. (IF YOU ARE NOT SURE PLEASE CHECK WITH EITHER BOARD ADMINISTRATOR.) If no prior action, write "none".

2013 Margate Planning Board site plan approval for existing restaurant and apartment

14. County and Other Agency Actions (Provide necessary dates and decisions):

Site Plan:

To be submitted

Subdivision:

Other:

15. Space for Narrative: In this space you must provide a general narrative description of what is being proposed, as well as any information not otherwise set forth above which may be relevant to the application, including justifications, clarifications and extenuating circumstances. FAILURE TO PROPERLY COMPLETE THIS SPACE WILL CONSTITUTE AN INCOMPLETE APPLICATION.

Applicant proposes to remove the existing food truck structure and to replace it with 2 buildings, each with one 1,022 sf commercial unit at street level and two residential units, each 2,574 sf, on the second floor. Each building will have 5 parking spaces restricted to residential parking. The previous bank drive through lane will remain closed to eliminate cut through traffic as well as to maintain an additional street parking spot along Frontenac Avenue.

16. Signature of Applicant(s):

[Handwritten Signature]

Date 12/30/2022

Date _____

17. This space for Board Administrator:

-Staff Committee action took place _____ and case assigned to the Planning Board for _____ or

-This application received by the Planning Board Administrator on _____

By: _____

18. Notarized Statement by Applicant:

State of New Jersey } ss.
County of Atlantic }

DOMENIC J. PASTORE, being duly

sworn according to law, deposes and says, that the statements contained in the above application and the statements contained in the papers submitted herewith are true.

Sworn to and subscribed before me this 30th day of DECEMBER, 2022

[Handwritten Signature]

STEVEN M. ABRAMOFF
Attorney At Law
State of New Jersey

4779

Prepared by:



Richard M. Berman, Esq.

DEED

This Deed is made on this 29th Day of February, 2012

BETWEEN SUN NATIONAL BANK, a National Banking Association, organized and existing under the laws of the United States of America, with offices at 226 Landis Avenue, Vineland, New Jersey 08360, referred to as Grantor

AND MARGATE BURGER, LLC, a New Jersey Limited Liability Company whose address is 9614 Amherst Avenue, Margate NJ 08402 referred to as Grantee.

Transfer of Ownership. The Grantor grants and conveys (transfers ownership of) all of its right, title and interest in the property (called the "Property") described below to the Grantee. This transfer is made for the sum of **SIX HUNDRED TWENTY-FIVE THOUSAND (\$625,000.00) DOLLARS.** The Grantor acknowledges receipt of this money.

Tax Map Reference. (N.J.S.A. 46:15-1.1) City of Margate, Block No. 207.03, Lot No. 4.

Property. The property consists of the land and all the buildings and structures on the land in the City of Margate, County of Atlantic and State of New Jersey. The legal description is:

ALL THAT CERTAIN tract or parcel of land and premises lying, being and situate in City of Margate, Atlantic County, and State of New Jersey being more particularly described as follows:

BEGINNING at the intersection of the Northerly line of Ventnor Avenue (80 feet wide) with the Easterly line of Frontenac Avenue (50 feet wide); and extending thence

Record & Return to
Surety Title
1555 Zion Road
Northfield, NJ 08225

ATLANTIC COUNTY, NJ: EDWARD P. McGETTIGAN, COUNTY CLERK
VOL 13398 REC'D 03/06/2012 10:03:35 AM RCPT# 935492
REC FEE 70.00 RTF 5,450.00 CONSID 625,000.00
MARGINAL NOTATION 0.00
INST# 2012013313
REC BY alison

1. North 31 degrees 55 minutes West, along the Easterly line of Frontenac Avenue, a distance of 75.0 feet to a point in the division line between Lots 5 and 4 in Block 207.03; thence
2. North 58 degrees 05 minutes East, along the division line between Lots 5, 14 and 4 in Block 207.03 and parallel with Ventnor Avenue, a distance of 125.0 feet to a point in the Westerly line of Franklin Avenue (40 feet wide); thence
3. South 31 degrees 55 minutes East along the Westerly line of Franklin Avenue, a distance of 75.0 feet to the Northerly line of Ventnor Avenue; thence
4. South 58 degrees 05 minutes 00 seconds West, along the Northerly line of Ventnor Avenue, a distance of 125.0 feet to a point in the Easterly line of Frontenac Avenue and the point and place of Beginning.

Note: The above description was drawn in accordance with a survey made by Paul H. Koelling, P.L.S. dated February 23, 2012.

Being the same lands and premises conveyed to Sun National Bank, a National Banking Association, by deed from New York Community Bank, a New York chartered stock savings bank, successor in interest to Richmond County Savings Bank, dated 9/27/27, recorded 9/28/2007 in the Atlantic County Clerk's Office in Book 12704, Instrument #2007089435.


UNDER AND SUBJECT, nevertheless, to obvious easements and all easements, covenants, conditions, rights of way and restrictions of record and to such state of facts as an accurate survey may reveal.


Promises by Grantor. The Grantor promises that the Grantor has done no act to encumber the property. This promise is called a "covenant as to Grantor's acts" (N.J.S.A. 46:4-6). This promise means that the Grantor has not allowed anyone else to obtain any legal rights which affect the property (Such as by making a mortgage or allowing a judgment to be entered against the Grantor.

Signatures. The Grantor signs this Deed as of the date at top of the first page.

Attested:

SUN NATIONAL BANK

By: 
 Name: RICHARD BEAMAN
 Title: SVR / SA COURSE

By:  (Seal)
 Name: Thomas X. Geisel
 Title: President & CEO



State of New Jersey
SELLER'S RESIDENCY CERTIFICATION/EXEMPTION
(C.55, P.L. 2004)

(Please Print or Type)

SELLER(S) INFORMATION (See Instructions, Page 2)

Name(s)

Sun National Bank

Current Resident Address:

Street: 226 LANDIS AVENUE

City, Town, Post Office

State

Zip Code

VINELAND

NJ

08360

PROPERTY INFORMATION (Brief Property Description)

Block(s)

Lot(s)

Qualifier

207.03

4

Street Address:

7903 Ventnor Avenue

City, Town, Post Office

State

Zip Code

Margate

NJ

08402

Seller's Percentage of Ownership

Consideration

Closing Date

100%

\$625,000.00

2/29/2012

SELLER ASSURANCES (Check the Appropriate Box) (Boxes 2 through 8 apply to Residents and Non-residents)

1. I am a resident taxpayer (individual, estate, or trust) of the State of New Jersey pursuant to N.J.S.A. 54A:1-1 et seq. and will file a resident gross income tax return and pay any applicable taxes on any gain or income from the disposition of this property.
2. The real property being sold or transferred is used exclusively as my principal residence within the meaning of section 121 of the federal Internal Revenue Code of 1986, 26 U.S.C. s. 121.
3. I am a mortgagor conveying the mortgaged property to a mortgagee in foreclosure or in a transfer in lieu of foreclosure with no additional consideration.
4. Seller, transferor or transferee is an agency or authority of the United States of America, an agency or authority of the State of New Jersey, the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Government National Mortgage Association, or a private mortgage insurance company.
5. Seller is not an individual, estate or trust and as such not required to make an estimated payment pursuant to N.J.S.A.54A:1-1 et seq.
6. The total consideration for the property is \$1,000 or less and as such, the seller is not required to make an estimated payment pursuant to N.J.S.A. 54A:5-1-1 et seq.
7. The gain from the sale will not be recognized for Federal income tax purposes under I.R.C. Section 721, 1031, 1033 or is a cemetery plot. (CIRCLE THE APPLICABLE SECTION). If such section does not ultimately apply to this transaction, the seller acknowledges the obligation to file a New Jersey income tax return for the year of the sale (see instructions).
 No non-like kind property received.
8. Transfer by an executor or administrator of a decedent to a devisee or heir to effect distribution of the decedent's estate in accordance with the provisions of the decedent's will or the intestate laws of this state.

SELLER(S) DECLARATION

The undersigned understands that this declaration and its contents may be disclosed or provided to the New Jersey Division of Taxation and that any false statement contained herein could be punished by fine, imprisonment, or both. I furthermore declare that I have examined this declaration and, to the best of my knowledge and belief, it is true, correct and complete. By checking this box I certify that the Power of Attorney to represent the seller(s) has been previously recorded or is being recorded simultaneously with the deed to which this form is attached.

February 28, 2012

Date

Signature

(Seller) Please indicate if Power of Attorney or Attorney in Fact

Date

Signature

(Seller) Please indicate if Power of Attorney or Attorney in Fact

STATE OF NEW JERSEY

ss.:

COUNTY OF

I CERTIFY that on February 28, 2012, Thomas X. Geisel personally came before me and this person acknowledged under oath, to my satisfaction, that:

(a) this person is the President & CEO of Sun National Bank, the entity named in this Deed;

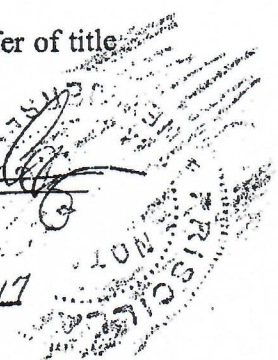
(b) this Deed was signed and delivered by Sun National Bank as its voluntary act duly authorized by a proper resolution of its Board of Directors;

(c) the full and actual consideration paid or to be paid for the transfer of title is ~~\$190,000.00-~~

LPW
\$ 625,000.00


Notary Public

PRISCILLA MCCOY
NOTARY PUBLIC OF NEW JERSEY
MY COMMISSION EXPIRES 1/18/2017





Office of the Tax Assessor
Municipal Building
9001 Winchester Ave.
Margate City, NJ 08402
609-822-1950
FAX 609-487-1142

James W. Manghan, CTA
Tax Assessor

Tami Pastore
9614 Amherst Avenue
Margate, NJ 08402

Block: 207.03 Lot: 4
Location: 7903 Ventnor Ave
Date: October 31, 2022

A handwritten signature in cursive script, appearing to read "James W. Manghan".

James W. Manghan, CTA
Tax Assessor

Tax list good for 60 days per Margate City Code Book (170-5)

www.margate-nj.com

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS	
106 39	3 S FRANKLIN AVE 5106 SF	4A	CAMPBELL, JOHN H& NANCY BARBETTO 3 S FRANKLIN AVE #2 MARGATE, NJ	08402
106 45	7838 VENTNOR AVE 4815 SF	4A	B & F LAND, LLC 7838 VENTNOR AVE MARGATE, NJ	08402
106 47	7828-34 VENTNOR AVE 3978SF	4A	MARGATE INVESTORS LLC 8301 ATLANTIC AVE MARGATE, NJ	08402
107 30	2 S FRANKLIN AVE	15F	UNITED STATES POSTAL SERVICE 2 S FRANKLIN AVE MARGATE, NJ	08402
107 33	5 S FRONTENAC AVE	2	RIZZO, SALVATORE & STACEY 822 ERIAL ROAD PINE HILL, NJ	08021
107 41	7950 VENTNOR AVE 9055SF	4A	SOVAT CORPORATION 7950 VENTNOR AVE MARGATE, NJ	08402
107 44	FRANKLIN & VENTNOR AVES	15F	NJ TRANSIT, @ ENERGY SOLVE UBAR 14 PO BOX 6077 SOMERSET, NJ	08873.6077
108.01 21	8008 VENTNOR AVE	4A	SEIDEN FAMILY FOODS, LLC C/O 8008 VENTNOR AVE MARGATE, NJ	08402
108.01 30	2 S FRONTENAC AVE 1996SF	4A	10 S FRONTENAC AVE, LLC 8008 VENTNOR AVE MARGATE, N J	08402
108.01 35.01	8000 VENTNOR AVE 3120SF	4A	SEIDEN FAMILY FOODS, LLC 8008 VENTNOR AVE MARGATE, NJ	08402
207.01 1	VENTNOR AVE	1	TAYLOR JR., BRYAN & COLLEEN, ET AL 7901 VENTNOR AVE MARGATE, NJ	08402
207.01 3	7901 VENTNOR AVE	4A	TAYLOR JR., BRYAN & COLLEEN, ET AL 7901 VENTNOR AVE MARGATE, NJ	08402
207.01 4	3 N FRANKLIN AVE	2	SIEGAL, SCOTT 432 BARLOW PLACE BETHESDA, MD	20814
207.01 5	5 N FRANKLIN AVE	2	BERNSTEIN, KERI 2323 RACE STREET #1001 PHILADELPHIA, PA	19103

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
207.01 6	7 N FRANKLIN AVE	2	MC NALLY III, E J & MC NALLY, J D 888 GRAVEL HILL RD SOUTHAMPTON, PA 18966
207.01 7	9 N FRANKLIN AVE	2	NICHEBAUM 2, LLC 330 W 3RD AVE APT#1 CONSHOHOCKEN, PA 19428
207.01 8	11 N FRANKLIN AVE	2	MURPHY, TODD E & ROSEANN FULGINITI 41 FOX HOLLOW LANE SEWELL, NJ 08080
207.01 11	12 N EXETER AVE	2	GOSNEAR, TIMOTHY H & RITA M 576 PARK RIDGE DR WAYNE, PA 19087
207.01 12	10 N EXETER AVE	2	POST, SUSAN E & BENJAMIN A 400 CAVERSHAM ROAD BRYN MAWR, PA 19010
207.01 13	8 N EXETER AVE	2	DUNKELMAN, DAVID & DANA 13 OAK HOLLOW CT VOORHEES, NJ 08043
207.01 14	6 N EXETER AVE	2	PLEVINSKY, RICHARD L & ALENE L 1909 OWL COURT CHERRY HILL, N.J. 08003
207.01 15	4 N EXETER AVE	2	KELLY, MITCHELL & RUSSO, TRACY 2668 BLUEBELL CT PHILADELPHIA, PA 19116
207.02 42	11 N GLADSTONE AVE	2	GRIMALDI, PIERO B 1064 EDGE HILL RD ABINGTON, PA 19001
207.02 42.01	10 N FRONTENAC AVE	2	KLEIN, RICHARD BRADLEY & LISA JOY 521 E WYNNEWOOD RD MERION STATION, PA 19066
207.02 43.01	8 N FRONTENAC AVE	2	CINCOTTA, SYLVIA J. 26 W POTOMAC ST BRUNSWICK, MD 21716
207.02 43.02	6 N FRONTENAC AVE	2	BLOOM TRUST, HARRIET PO BOX 1149 MT LAUREL, NJ 08054
207.02 45	4 N FRONTENAC AVE	2	CIOCIOLA, JOSEPH & CAROL 4 N FRONTENAC AVE MARGATE, NJ 08402
207.02 46	2 N FRONTENAC AVE	2	BALKIN, BORY & MICHAEL SAMUEL 3520 MICHAEL DRIVE PLANO, TX 75023

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS	
207.02 47	8001-11 VENTNOR AVE 11,826F,L48	4A	SIGANOS REALTY, LLC PO BOX 226 1418 NEW ROAD NORTHFIELD, NJ	08225
207.02 51	1 N GLADSTONE AVE	2	UHR, SANDRA 1 N GLADSTONE AVE MARGATE, NJ	08402
207.02 52	5 N GLADSTONE AVE	2	JAFFE, MITCHELL & DAEL 5 N GLADSTONE AVE MARGATE, NJ	08402
207.02 54	7 N GLADSTONE AVE	2	ABRAMSON, DENNIS L & MINDEE R 419 WILLIAMS ROAD WYNNWOOD, PA	19096.1632
207.03 4	7903 VENTNOR AVE	4A	MARGATE BURGER, LLC 9614 AMHERST AVE MARGATE, NJ	08402
207.03 5	3 N FRONTENAC AVE	2	KUPERMAN, RONALD J 832 PLACID LAKE DRIVE OSPREY, FL	34229
207.03 6	5 N FRONTENAC AVE	2	ZOTTI, NICHOLAS & DEANNA 13 ELKINS LN MARLTON, NJ	08053
207.03 7	7 N FRONTENAC AVE	2	CAMBRIA, LOUIS & DEBORAH 2119 PORTER STREET PHILADELPHIA, PA	19145
207.03 8	9 N FRONTENAC AVE	2	BAUMSTEIN, EDWARD S & BRUCIE F 1125 GINKGO LANE GLADWYNE, PA	19035
207.03 10	12 N FRANKLIN AVE	2	KOUZI, JACKY & PEARL 3006 LYNTHURST H DEERFIELD BEACH, FL	33442
207.03 11	10 N FRANKLIN AVE	2	WEINTRAUB, JAY I & JUDITH A 10 N FRANKLIN AVE MARGATE, NJ	08402
207.03 12	8 N FRANKLIN AVE	2	TAYLOR JR, B D&C M, TAYLOR SR, B D&EC 505 N UNION AVE MARGATE, NJ	08402
207.03 13	6 N FRANKLIN AVE	2	NICOLO, LAWRENCE & CELESTE 6 N FRANKLIN AVE MARGATE, NJ	08402
207.03 14	2 N FRANKLIN AVE	2	ROSENSTEIN, STACEY 2 HEATHER WAY NEWTOWN SQUARE, PA	19073

UTILITIES TO BE NOTIFIED WITH TAXLIST

ATLANTIC CITY ELECTRIC
5100 HARDING HIGHWAY, SUITE 399
MAYS LANDING, NJ 08330

SOUTH JERSEY GAS COMPANY
VP CONSTRUCTION
1 SOUTH JERSEY PLAZA, RT. 54
FOLSOM, NJ 08037

COMCAST CABLE, GREG SMITH, PM
901 LEEDS AVENUE
ABSECON, NJ 08201

ATLANTIC COUNTY PLANNING BOARD
RT 9 & DOLPHIN RD
PO BOX 719
NORTHFIELD, NJ 08225

ITEMS PRINTED.....46



REVENUE and FINANCE DEPARTMENT
Office of the Tax Collector
City of Margate City
9001 Winchester Avenue
Margate City, New Jersey 08402
609-822-2508

Date: December 28, 2022

To Whom It May Concern:

I HEREBY CERTIFY THAT the TAX for Q1 due February 1st, 2023;

And the WATER and SEWER charges for the year 2022

Are paid on property located at 7903 Ventnor Avenue;

Assessed to Margate Burger, LLC.;

Designated as BLOCK 207.03, LOT 4, Tax Map of Margate City, N.J.

Tara J Mazza, CTC
Tax Collector
Mazza_tara@margate-nj.com

Per *T.M.*

Corporate Disclosure Form

MARGATE BURGER LLC

IN THE MATTER OF THE: MARGATE CITY PLANNING BOARD

APPLICATION OF MARGATE BURGER LLC

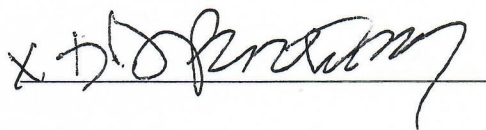
Property Location

Block 207.03, Lot 4
7903 Ventnor Avenue

Domenic J. Pastore, of full age, hereby certifies the following factual information:

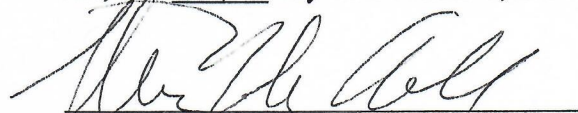
- 1) I am authorized to file this Certification on behalf of Margate Burger LLC, the owner of the property, which is the subject of this application.
- 2) Margate Burger LLC is a limited liability company organized under the laws of the State of New Jersey.
- 3) The names of all persons having a 10% or greater ownership interest in Margate Burger LLC are as follows:
 - a) Domenic J. Pastore, 9614 Amherst Avenue, Margate, NJ 08402
 - b) Tami Pastore, 9614 Amherst Avenue, Margate, NJ 08402
- 4) There are no other persons having a 10% or greater interest in Margate Burger LLC.

I certify that the foregoing statements made by me are true. I am aware that if any of the foregoing statements made by me are willfully false, I am subject to punishment.



Domenic J. Pastore, Managing Member

Sworn to and subscribed before
me, this 30th day of December, 2022.



Steven M. Abramoff, Esquire
Attorney at Law
State of New Jersey



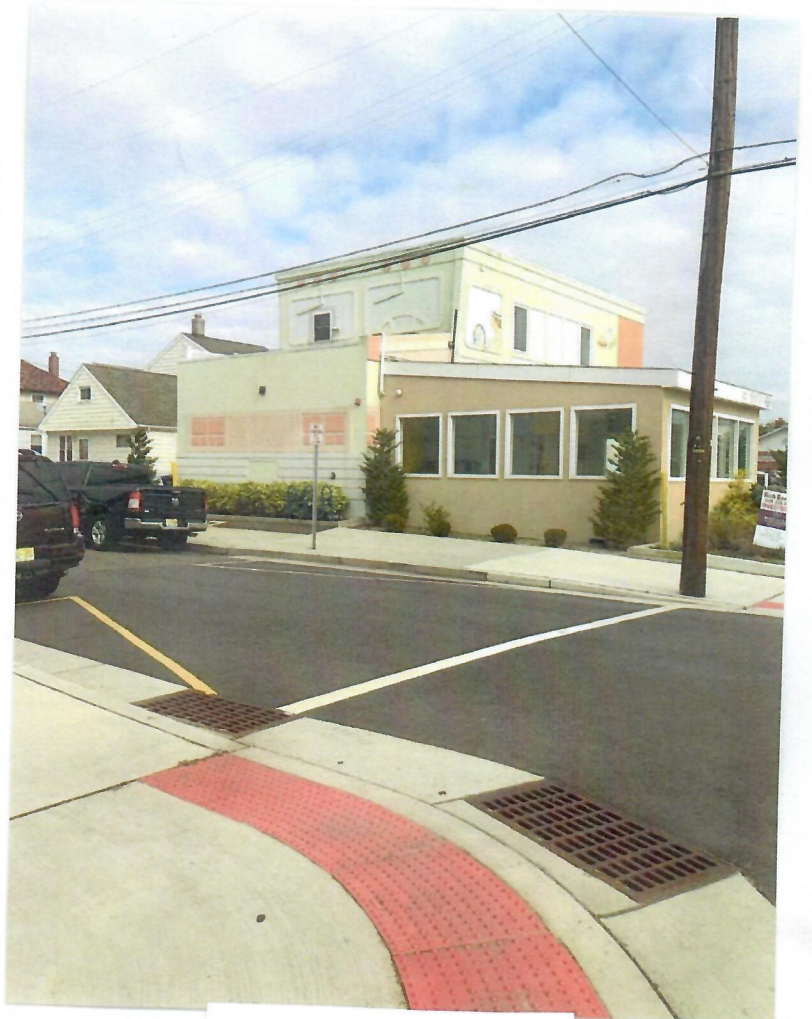
10/30/22
View From Franklin Ave



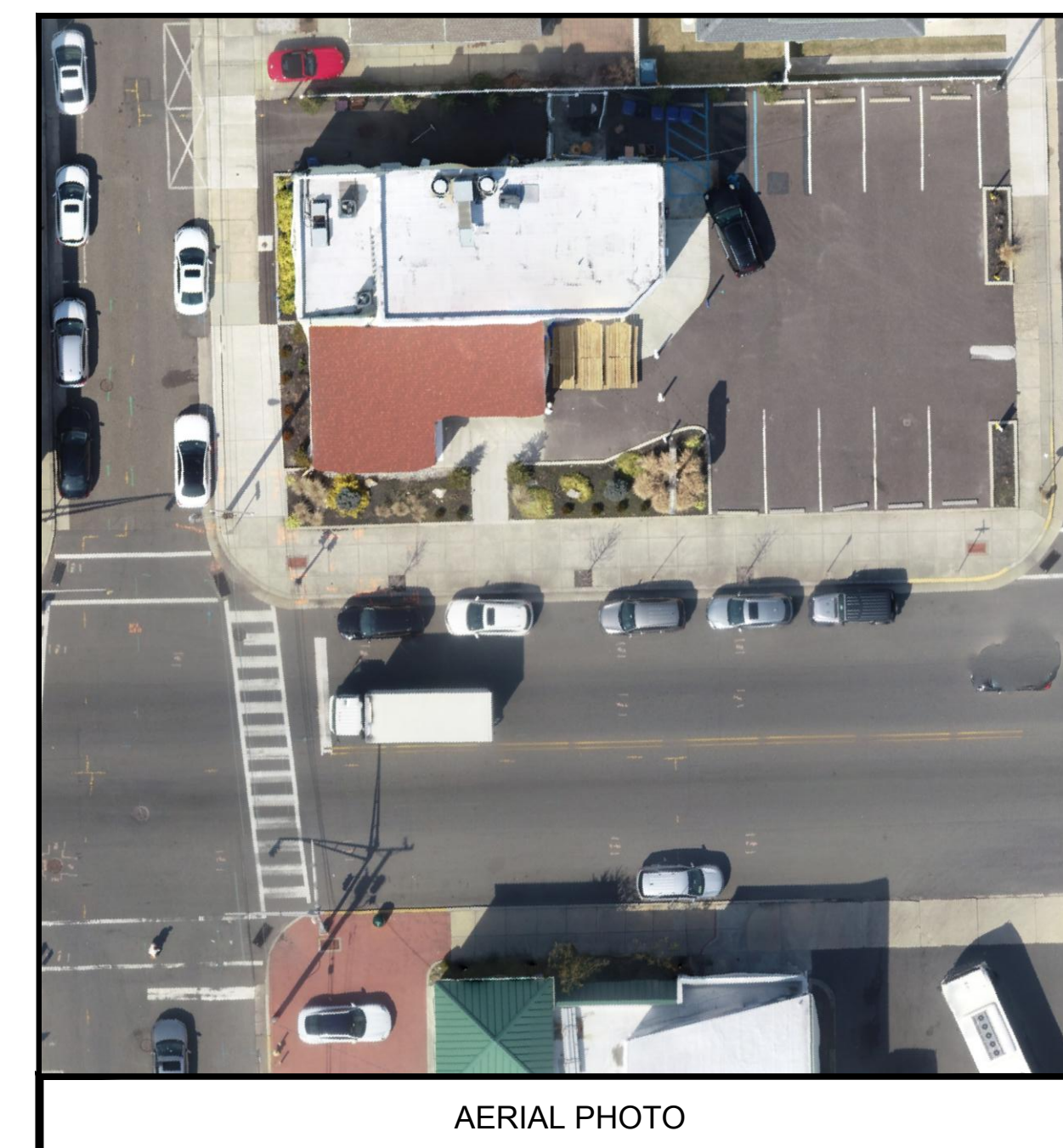
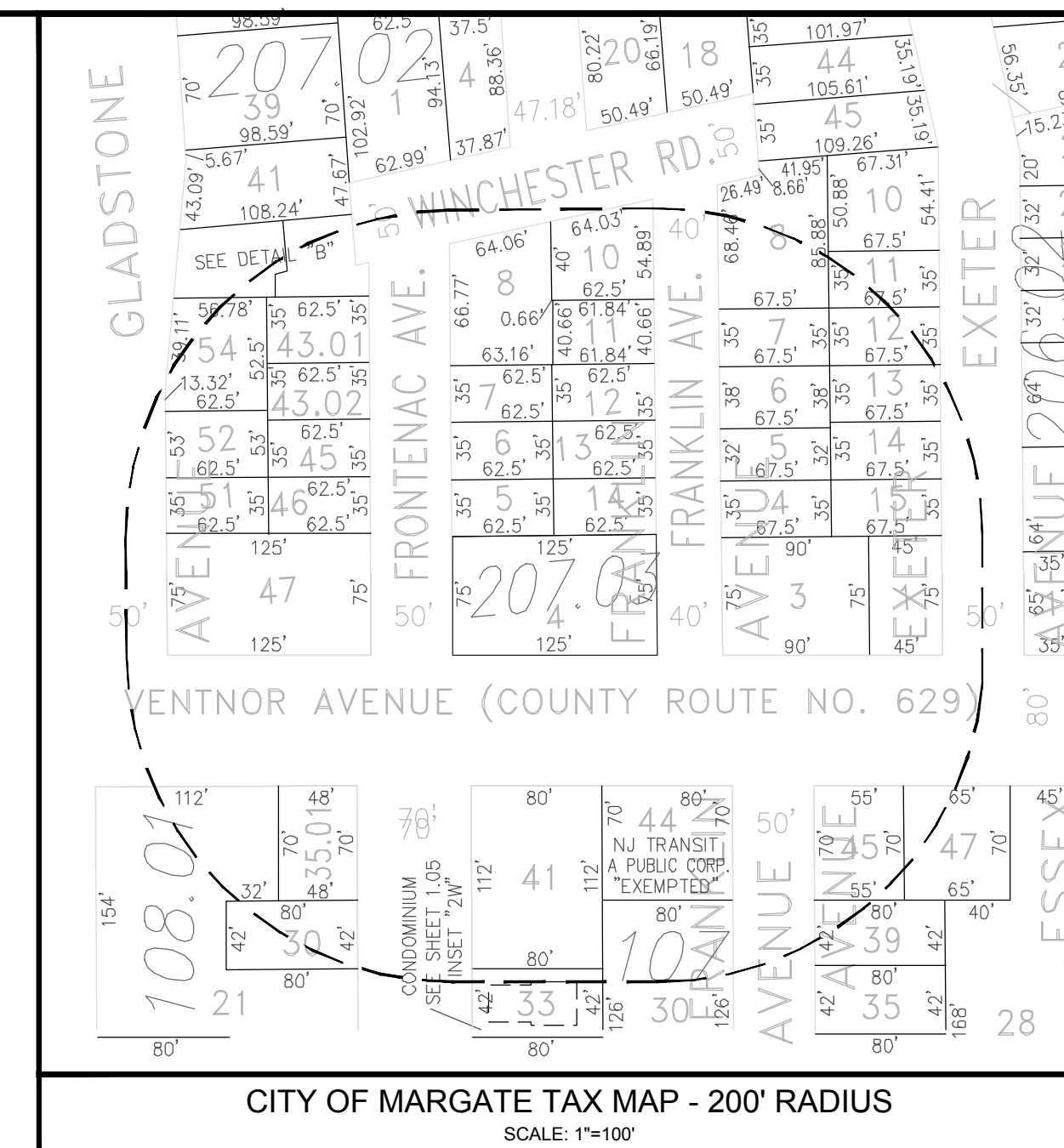
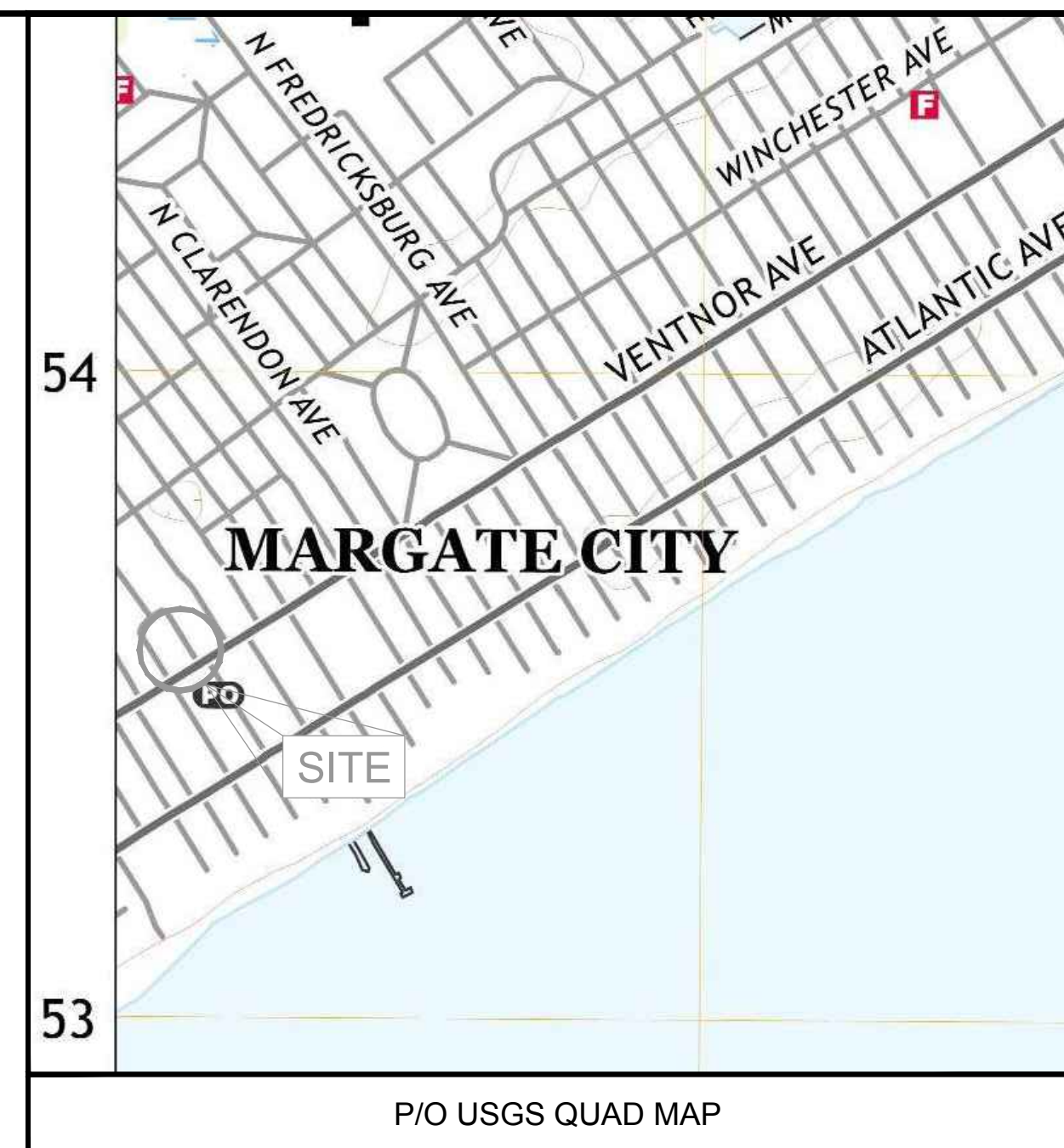
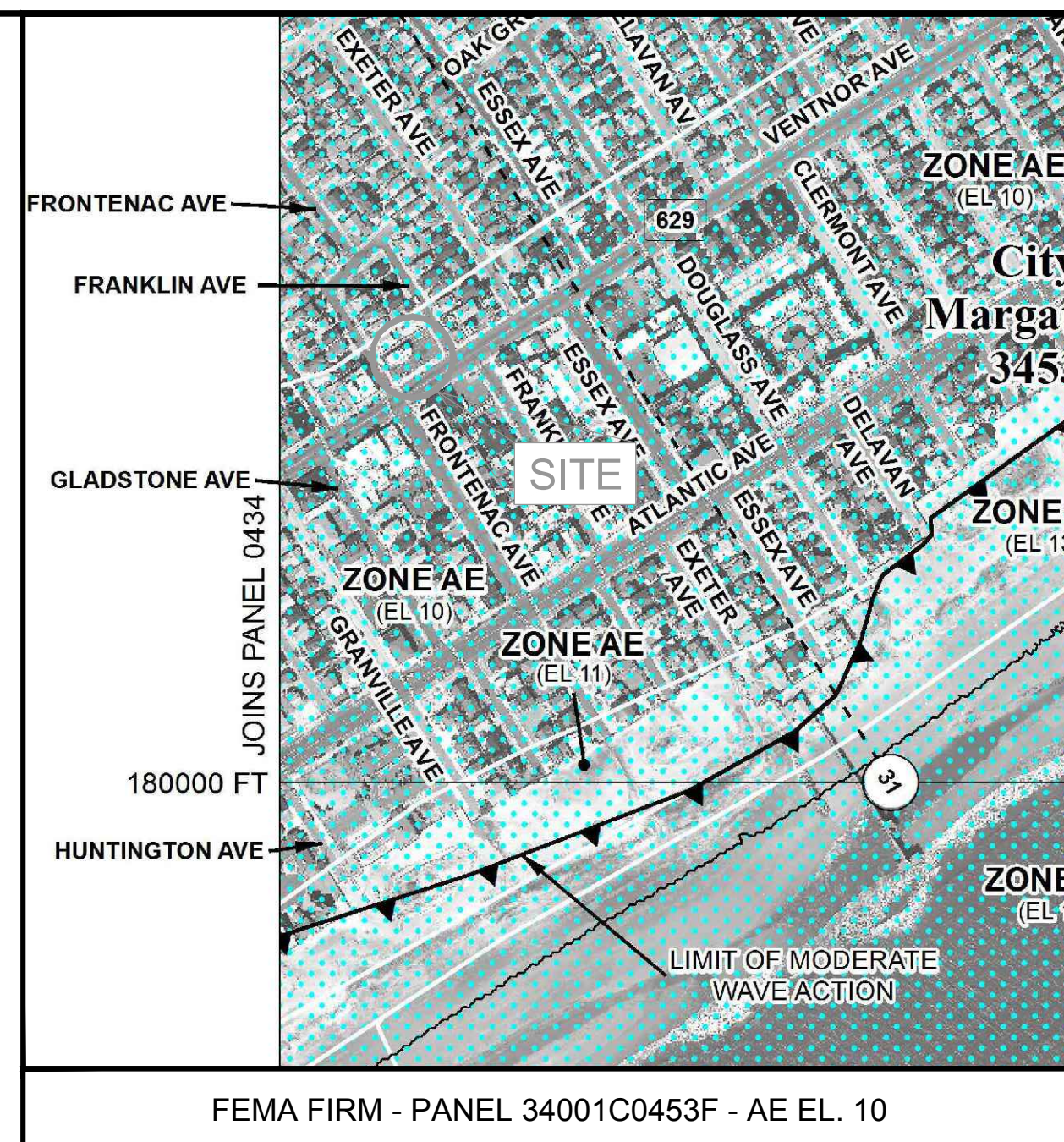
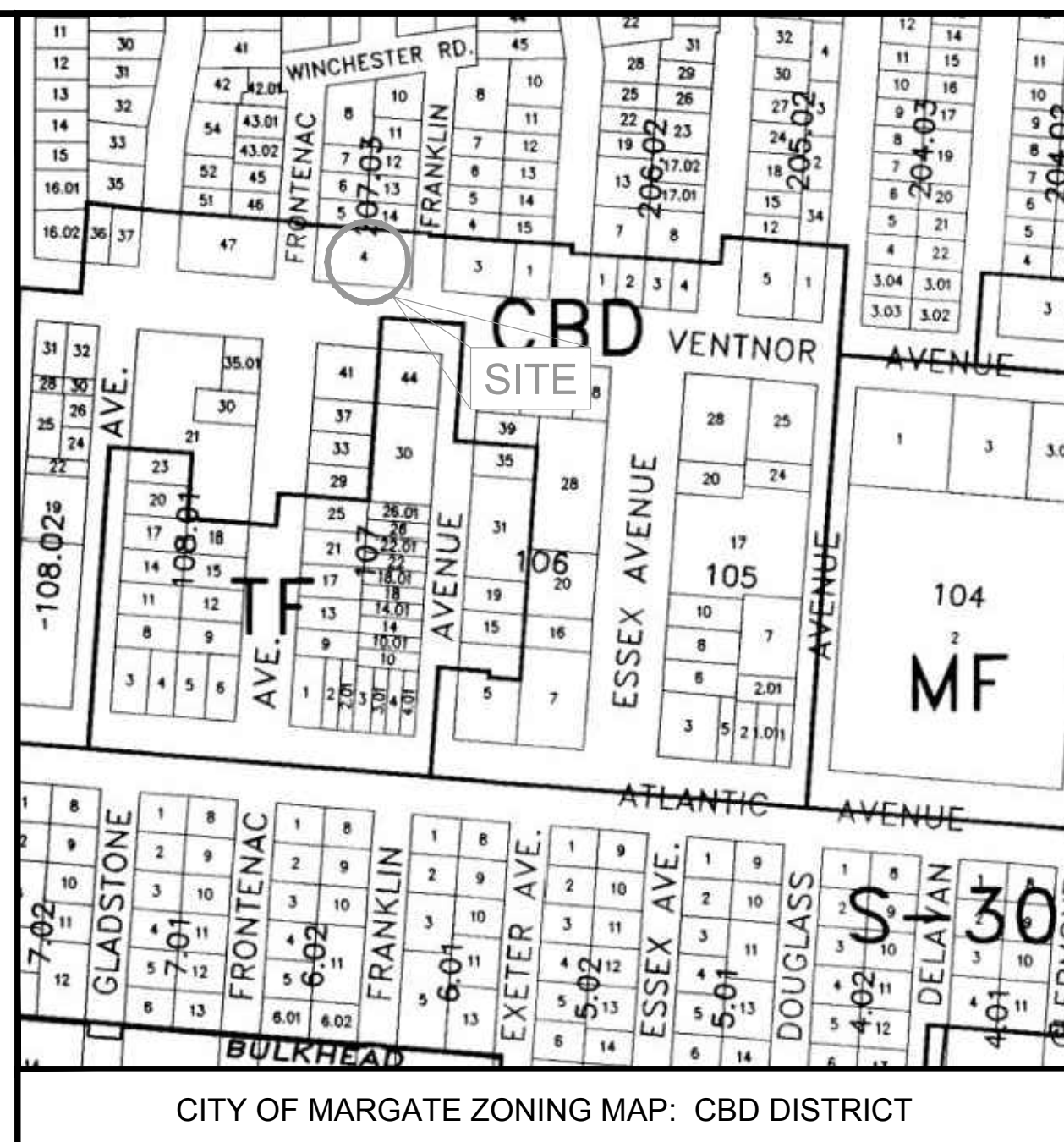
10/30/22
View From Ventnor Ave



10/30/22
Door View



10/30/22



PROPOSED MIXED USE DEVELOPMENT TWO COMMERCIAL UNITS AT GRADE FOUR RESIDENTIAL UNITS ABOVE

APPLICANT: MARGATE BURGER, LLC

#7903 VENTNOR AVENUE
BLOCK 207.03 LOT 4

- SHEET SET**
- C-1 TITLE SHEET
 - C-2 EXISTING CONDITIONS
 - C-3 SITE DEVELOPMENT PLAN
 - C-4 SITE DETAILS
 - C-5 SOIL EROSION & SEDIMENT CONTROL PLAN
 - C-6 GRADING & DRAINAGE PLAN

APPROVALS

ATLANTIC COUNTY APPROVALS

OFFICE OF POLICY, PLANNING & ECONOMIC DEVELOPMENT

SUBDIVISION REVIEW

SITE PLAN REVIEW

DATE RECEIVED	FINDINGS COUNTY ROAD OR DRAINAGE FACILITIES AFFECTED YES <input type="checkbox"/> NO <input type="checkbox"/>	FILE NO.

COUNTY PLANNING BOARD	FINDINGS <input type="checkbox"/> APPROVED <input type="checkbox"/> DISAPPROVED <input type="checkbox"/> FAVORABLE <input type="checkbox"/> UNFAVORABLE <input type="checkbox"/> RECOMMENDATIONS	DATE OF ACTION	SIGNATURE

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

MUNICIPAL ENGINEER _____ DATE _____

CERTIFICATION OF PAID TAXES _____

TAX COLLECTOR _____ DATE _____

KNOW WHAT'S BELOW - CALL BEFORE YOU DIG!
Dial 811 or 800-272-1000. It's FREE and it's the LAW

NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION

APCO ARTHUR PONZIO CO.
ENGINEERS & SURVEYORS
PLANNERS

400 NORTH DOVER AVENUE, ATLANTIC CITY, N.J. 08401
PHONE: 609-344-8194 FAX: 609-344-1594
NEW JERSEY STATE AUTH. NO.: 24GA28001300

J. Barnhart
JOHN J. BARNHART
PROFESSIONAL PLANNER N.J. NO. 33LI00581500
PROFESSIONAL ENGINEER N.J. NO. GE43483

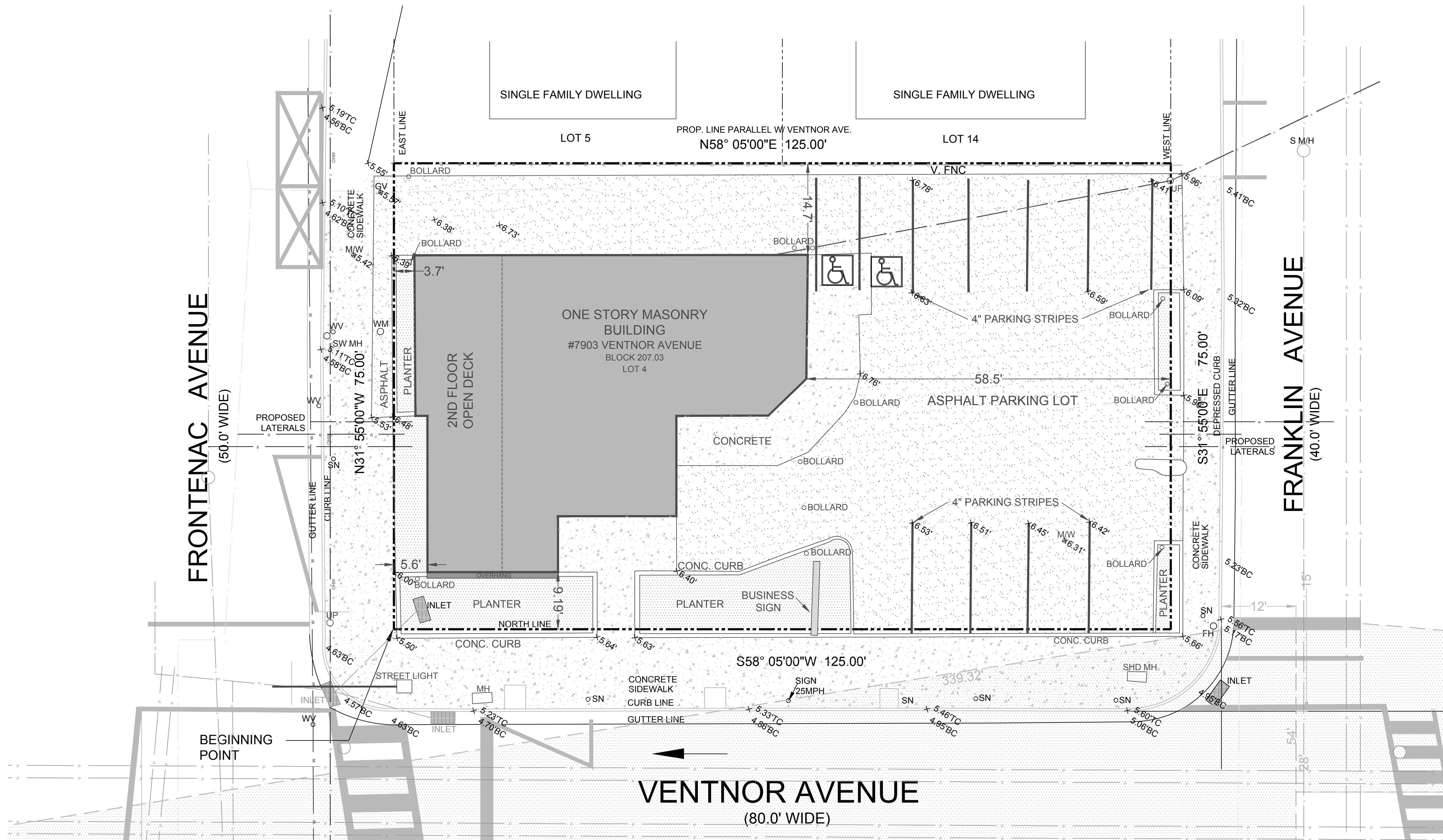
Arthur Ponzio, Jr.
ARTHUR W. PONZIO, JR.
PROFESSIONAL PLANNER N.J. NO. 33LI00267600
PROFESSIONAL LAND SURVEYOR N.J. NO. 24GS02831400

TITLE SHEET
BLOCK 207.03 LOT 4
MARGATE CITY ATLANTIC COUNTY NEW JERSEY

SCALE: N.T.S.
DATE: 09/15/22

BY: WJP
PROJ. NO.: 40054

SHEET NO.
C-1
SHEET 1 of 6



- GENERAL NOTES**
- SUBJECT PROPERTY CONTAINS A CALCULATED AREA OF 9,375 SQ. FT.
 - PERMANENT MARKERS HAVE BEEN SET OR FOUND WHERE NOTED.
 - OFFSETS SHOWN ARE GIVEN FOR CHECKING COMPLIANCE WITH DEED RESTRICTIONS AND ZONING REGULATIONS ONLY. OFFSETS SHALL NOT BE USED FOR ANY OTHER PURPOSES. SURVEYOR SHALL NOT HAVE ANY LIABILITY OR RESPONSIBILITY IF THE OFFSETS SHOWN ARE USED OTHER THAN AS INTENDED.
 - THIS PROPERTY IS SUBJECT TO DOCUMENTS OF RECORD, UNDERGROUND IMPROVEMENTS, EASEMENTS, PROPERTY LINE AGREEMENTS OR OTHER CONDITIONS UNKNOWN TO THE SURVEYOR ARE NOT SHOWN. SURVEYOR RESERVES THE RIGHT TO MODIFY THIS SURVEY SHOULD ANY SUCH INFORMATION BECOME AVAILABLE.
 - SURVEYOR'S SIGNATURE AND SEAL SIGNIFY THAT THIS SURVEY WAS PERFORMED UNDER MY DIRECT SUPERVISION. ONLY SIGNED SEALED COPIES SHALL BE CONSIDERED AS TRUE COPIES.
 - THIS SURVEY HAS BEEN PREPARED ONLY FOR THE USE OF THE NAMED PARTIES. SURVEYOR SHALL NOT HAVE ANY LIABILITY OR RESPONSIBILITY FOR USE WITH SURVEY AFFIDAVIT, OR FOR USE BY ANY OTHER PERSON OR ENTITY NOT SPECIFICALLY NAMED, FOR ANY REASONS OTHER THAN AS ORIGINALLY INTENDED.
 - THE DETECTION, LOCATION OR IDENTIFICATION OF HAZARDOUS SUBSTANCES IS NOT INCLUDED AS PART OF SURVEYOR'S CONTRACT WITH CLIENT.

ATLANTIC COUNTY APPROVALS

OFFICE OF POLICY, PLANNING & ECONOMIC DEVELOPMENT			
<input type="checkbox"/> SUBDIVISION REVIEW			
<input type="checkbox"/> SITE PLAN REVIEW			
DATE RECEIVED	FINDINGS COUNTY ROAD OR DRAINAGE FACILITIES AFFECTED YES <input type="checkbox"/> NO <input type="checkbox"/>	FILE NO.	
COUNTY PLANNING BOARD	FINDINGS	DATE OF ACTION	SIGNATURE
	<input type="checkbox"/> APPROVED <input type="checkbox"/> DISAPPROVED <input type="checkbox"/> FAVORABLE <input type="checkbox"/> UNFAVORABLE <input type="checkbox"/> RECOMMENDATIONS		

APPROVALS

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

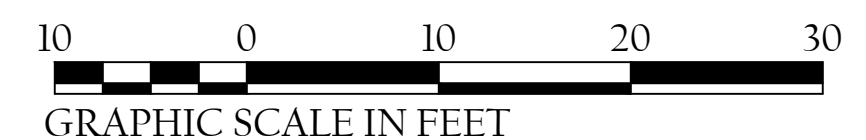
MUNICIPAL ENGINEER _____ DATE _____

CERTIFICATION OF PAID TAXES _____

TAX COLLECTOR _____ DATE _____

ELEVATION LEGEND

X.XX' = EXISTING SPOT ELEVATION NAV88 DATUM
 X.XX' BC = EXISTING BOTTOM OF CURB ELEVATION
 X.XX' TC = EXISTING TOP OF CURB ELEVATION



SHEET SET

C-1	TITLE SHEET
C-2	EXISTING CONDITIONS
C-3	SUBDIVISION PLAN
C-4	SITE PLAN DETAILS
C-5	SOIL EROSION & SEDIMENT CONTROL PLAN
C-6	LANDSCAPE PLAN
C-7	GRADING & DRAINAGE PLAN

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ARTHUR PONZIO CO. ACCEPTS RESPONSIBILITY AND NOTICABLE THE ANY FIELD INSPECTION, CONSTRUCTION MANAGEMENT, CONSTRUCTION OR CONTRACTOR'S COMPLIANCE WITH CONSTRUCTION DOCUMENTS.

NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION

APCO ARTHUR PONZIO CO.
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 PLANNERS

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 PHONE: 609-344-8194 FAX: 609-344-1594
 NEW JERSEY STATE AUTH. NO.: 24GA28001300

Jon J. Barnhart
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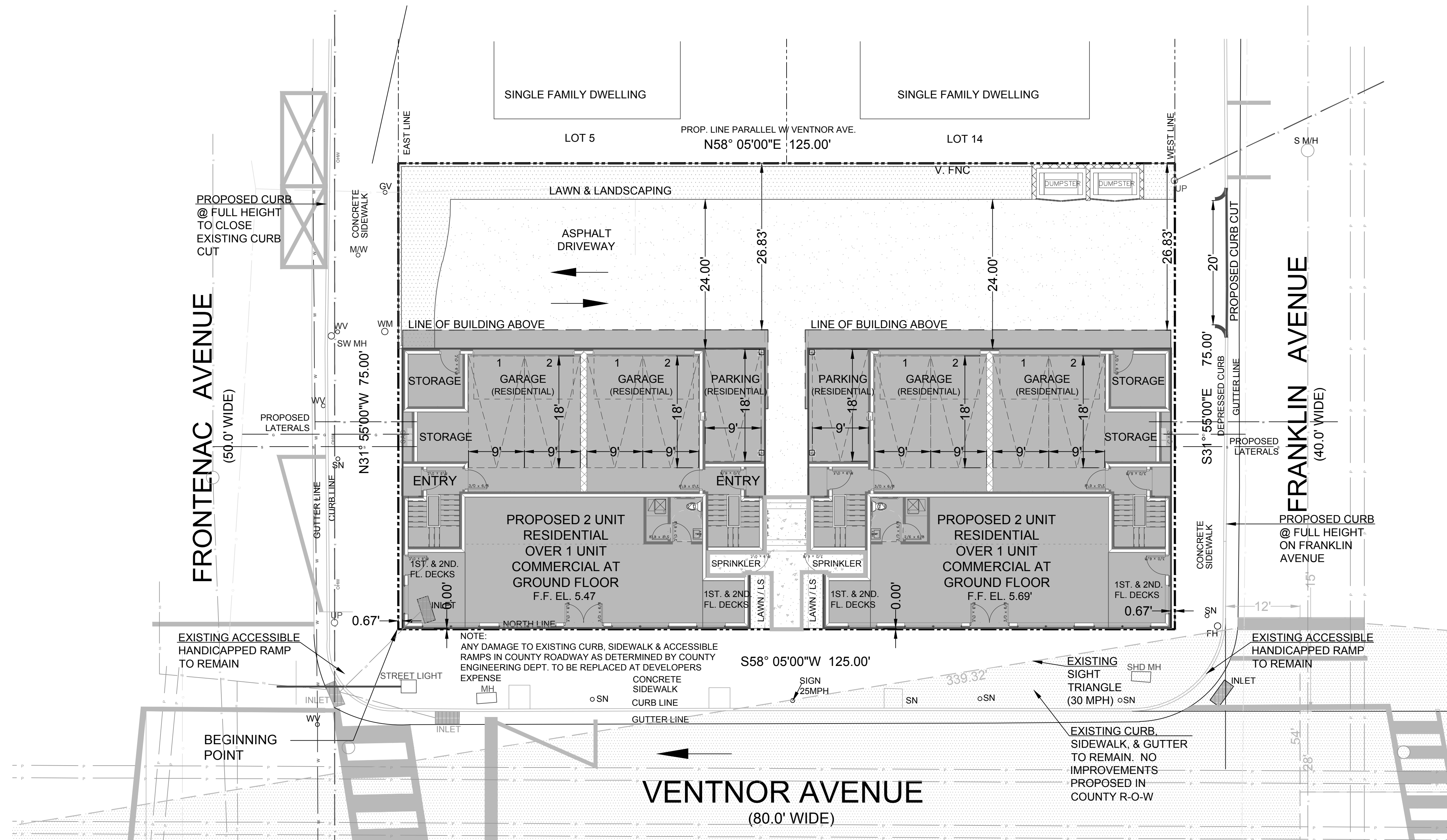
Arthur W. Ponzio, Jr.
ARTHUR W. PONZIO, JR.
 PROFESSIONAL PLANNER N.J. NO. 33LI00267600
 PROFESSIONAL LAND SURVEYOR N.J. NO. 24GS02831400

EXISTING CONDITION PLAN
 BLOCK 207.03 LOT 4
 MARGATE CITY ATLANTIC COUNTY NEW JERSEY

SCALE: 1"=10'
 DATE: 09/15/22

BY: WJP
 PROJ. NO.: 40054

SHEET NO.
C-2
 SHEET 2 of 6



GENERAL NOTES

1. APPLICANT / OWNER
MARGATE BURGER, LLC
9614 AMHERST AVENUE
MARGATE CITY, NJ 08402
2. PROJECT TEAM
PROJECT ARCHITECT: PETER WEISS, A.I.A.
ATTORNEY: XXXX
PLANNER/SURVEYOR /ENGINEER: ARTHUR PONZIO COMPANY
3. PROPERTY INFORMATION
7903 VENTNOR AVENUE
MARGATE, ATLANTIC COUNTY, NEW JERSEY 08402
BLOCK 207.03 LOT 4
FLOOD ZONE: AE (EL. 10)
ZONING DISTRICT: CBD CENTRAL BUSINESS DISTRICT
EXISTING USE: MARGATE BURGER - COMMERCIAL
LOT AREA: 9,375 SF (0.21 ACRES)
4. PROPOSED PLAN
THE APPLICANT PROPOSES TO CONSTRUCT TWO BUILDINGS EACH CONTAINING 1 COMMERCIAL SPACE AT GROUND FLOOR WITH 2 RESIDENTIAL UNITS ABOVE WITH PARKING AND ANCILLARY IMPROVEMENTS.
5. PROPERTY SURVEY
SURVEY INFORMATION SHOWN ON THESE PLANS TAKEN FROM A PHYSICAL FIELD SURVEY PERFORMED JULY 20, 2022, BY ARTHUR PONZIO COMPANY.
ADJACENT BUILDINGS PLOTTED FROM AERIAL PHOTOGRAPHS AND ARE NOT TO BE USED FOR BUILDING OFFSETS OR SITE LAYOUT.

ATLANTIC COUNTY APPROVALS

OFFICE OF POLICY, PLANNING & ECONOMIC DEVELOPMENT

SUBDIVISION REVIEW
 SITE PLAN REVIEW

DATE RECEIVED	FINDINGS COUNTY ROAD OR DRAINAGE FACILITIES AFFECTED YES <input type="checkbox"/> NO <input type="checkbox"/>	FILE NO.

COUNTY PLANNING BOARD	FINDINGS <input type="checkbox"/> APPROVED <input type="checkbox"/> DISAPPROVED <input type="checkbox"/> FAVORABLE <input type="checkbox"/> UNFAVORABLE <input type="checkbox"/> RECOMMENDATIONS	DATE OF ACTION	SIGNATURE

APPROVALS

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

MUNICIPAL ENGINEER _____ DATE _____

CERTIFICATION OF PAID TAXES _____

TAX COLLECTOR _____ DATE _____

CITY OF MARGATE SCHEDULE OF RESIDENTIAL STANDARDS COMMERCIAL BUSINESS DISTRICT

	REQUIRED	EXISTING	STATUS	PROPOSED	STATUS
MINIMUM LOT AREA	4000 SF.	9375 SF.	C	9375 SF.	C
MINIMUM LOT WIDTH	50 FT.	75 FT.	C	75 FT.	C
MAXIMUM PRINCIPAL BUILDING COVERAGE	60%	26%	C	60%	C
YARDS					
FRONT					
FRONTENAC	0.67 FT.	3.7		0.67 FT.	C
VENTNOR	0 FT.	9.19		0 FT.	C
FRANKLIN	0.67 FT.	58.5		0.67 FT.	C
REAR					
FRANKLIN	5 FT.	N/A		5 FT.	C
SIDE					
FRANKLIN	3 FT EACH/10 FT COMBINED	14.7 FT		26.83 FT.	C
HEIGHT					
FRONTENAC	34' ABOVE CURB OR 30' ABOVE FF.		C	36' ABOVE CURB	V
DENSITY	19.8 UPA OR 4.22 UNITS	0	C	4 DU	C
PARKING RESIDENTIAL		0	C	3 PER RES. UNIT	C
PARKING COMMERCIAL		10		0	C
LANDSCAPING		9.1%		9.7%	C
USE		RESTAURANT	C	COMM. RES.	V*

LEGEND

V VARIANCE REQUIRED
C CONFORMING
N/A NOT APPLICABLE
* RESIDENTIAL PARKING AT GRADE

CONSTRUCTION NOTES

1. ALL RESTORATIONS IN THE FRONTENAC AVENUE AND FRANKLIN AVENUE RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF §242 STREETS AND SIDEWALKS OF THE MARGATE CITY MUNICIPAL CODE.
2. ALL RESTORATIONS IN THE VENTNOR AVENUE RIGHT OF WAY PER ATLANTIC COUNTY LAND DEVELOPMENT STANDARDS
3. THE OWNER OR HIS REPRESENTATIVE IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY, DURING THE COURSE OF IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-22.21(e) OF THE NEW JERSEY UNIFORM CONSTRUCTION CODE AND C.F.R. 1926(f) (OSHA COMPETENT PERSON)

- SHEET SET**
- C-1 TITLE SHEET
 - C-2 EXISTING CONDITIONS
 - C-3 SUBDIVISION PLAN
 - C-4 SITE PLAN DETAILS
 - C-5 SOIL EROSION & SEDIMENT CONTROL PLAN
 - C-6 LANDSCAPE PLAN
 - C-7 GRADING & DRAINAGE PLAN



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ARTHUR PONZIO CO. DESIGNERS SHALL NOT BE RESPONSIBLE FOR ANY FIELD INSPECTION, CONSTRUCTION MANAGEMENT, CONSTRUCTION OR CONTRACTOR'S COMPLIANCE WITH CONSTRUCTION DOCUMENTS.

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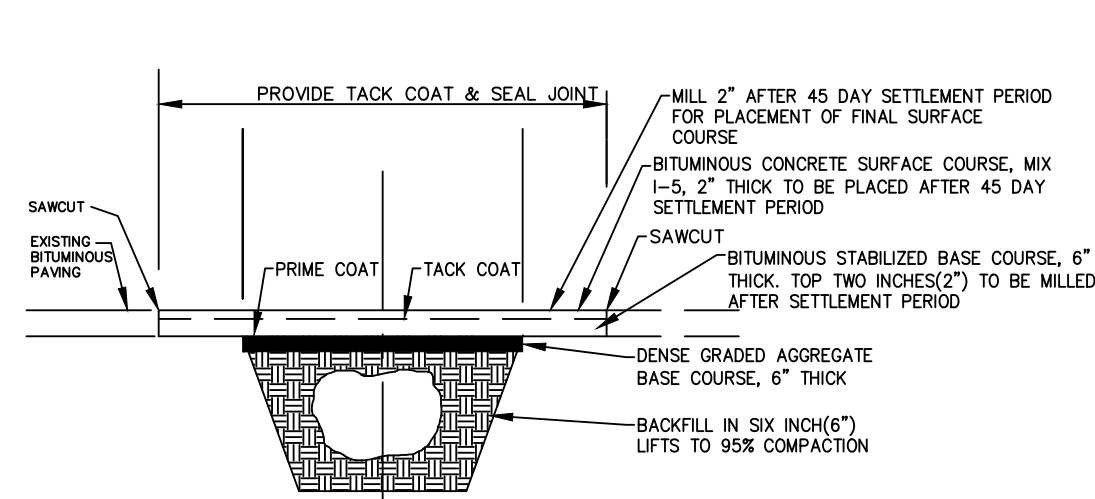
ARTHUR W. PONZIO, JR.
PROFESSIONAL PLANNER N.J. NO. 33L100267600
PROFESSIONAL LAND SURVEYOR N.J. NO. 24GS02831400

SITE DEVELOPMENT PLAN
BLOCK 207.03 LOT 4
MARGATE CITY ATLANTIC COUNTY NEW JERSEY

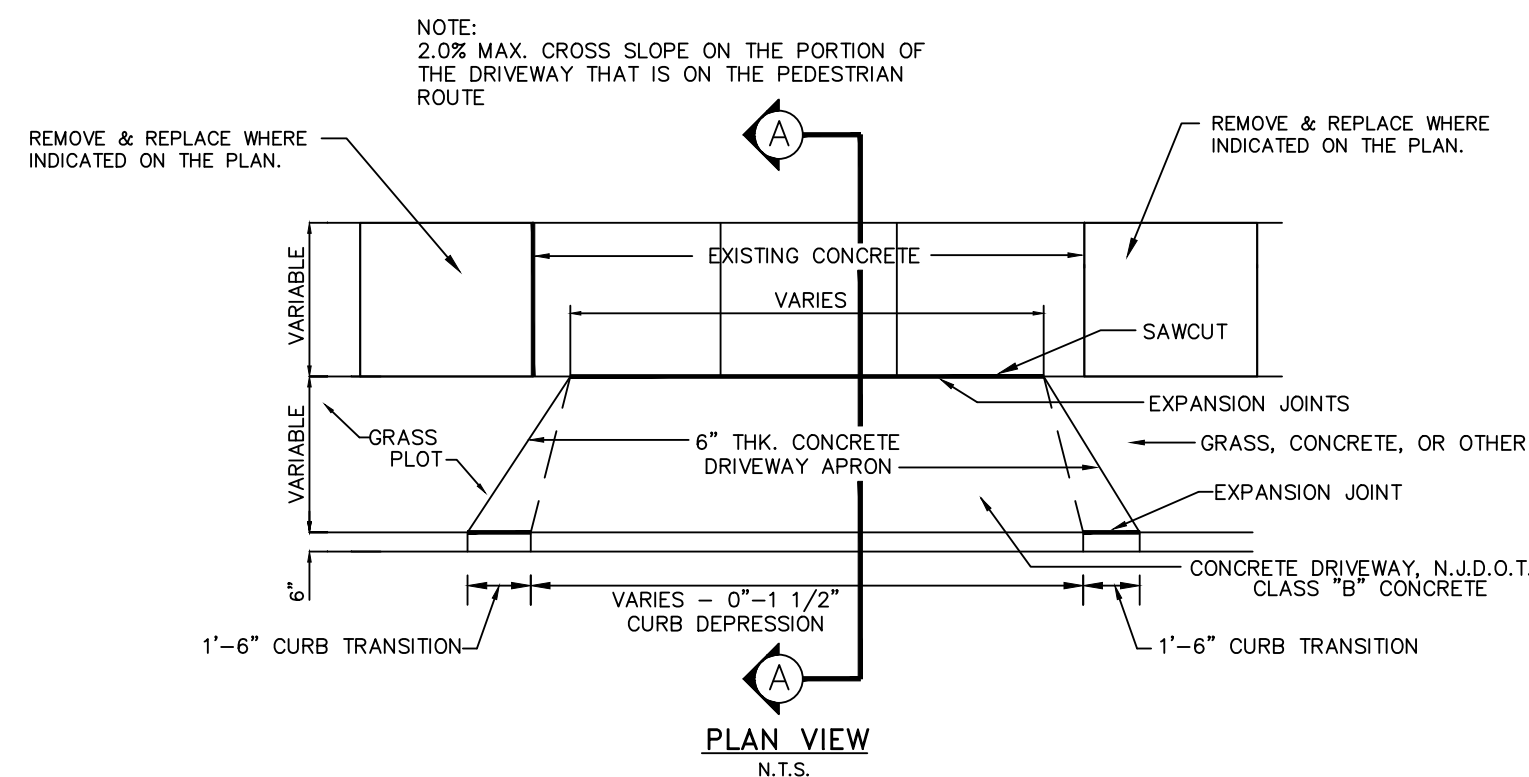
SCALE: 1"=10'
DATE: 09/15/22

BY: WJP
PROJ. NO.: 40054

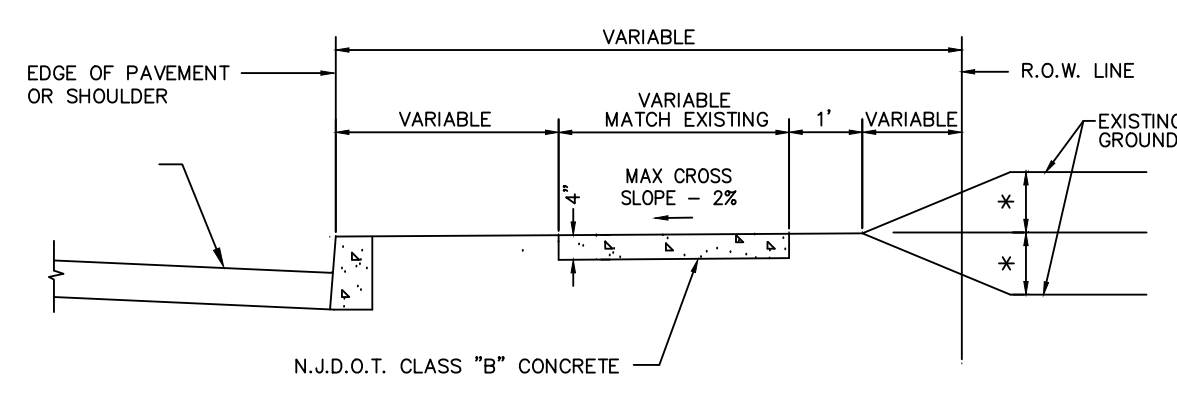
SHEET NO. **C-3**
3 of 6



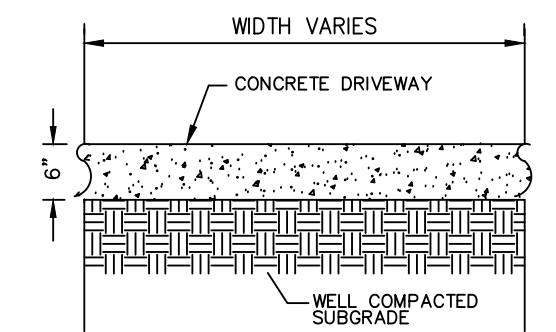
STREET RESTORATION
(GREATER THAN 100 SQUARE FEET)
N.T.S.
NON COUNTY R-0-W



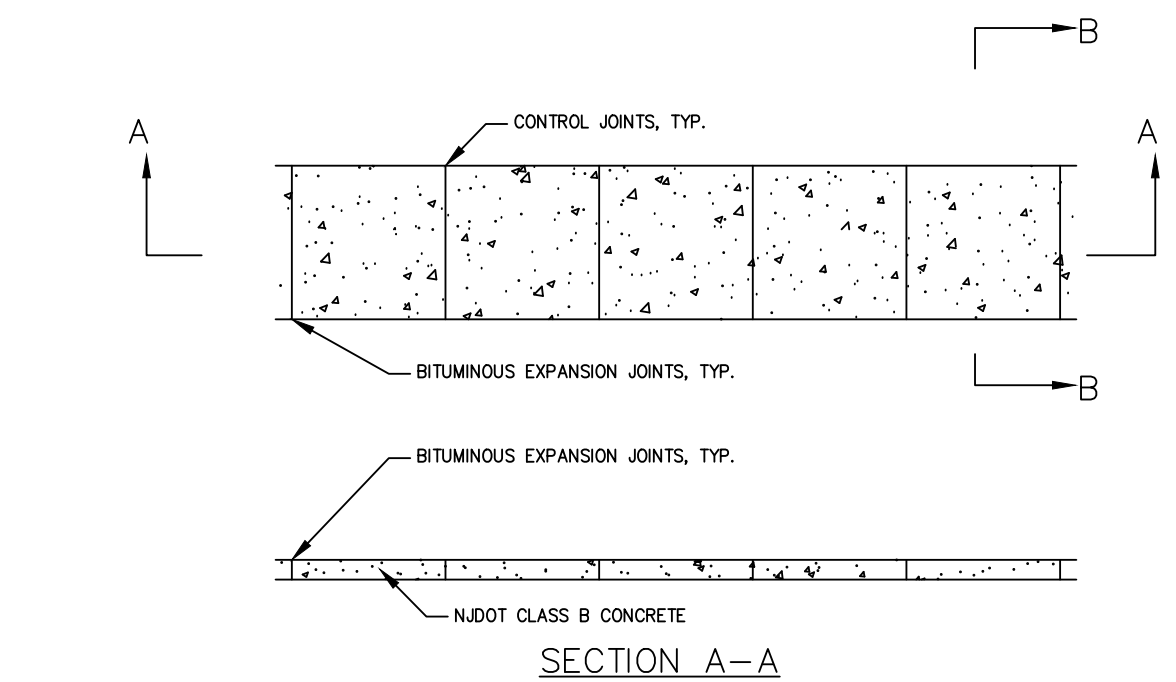
CONCRETE DRIVEWAY APRON & DEPRESSED CURB DETAIL
N.T.S.



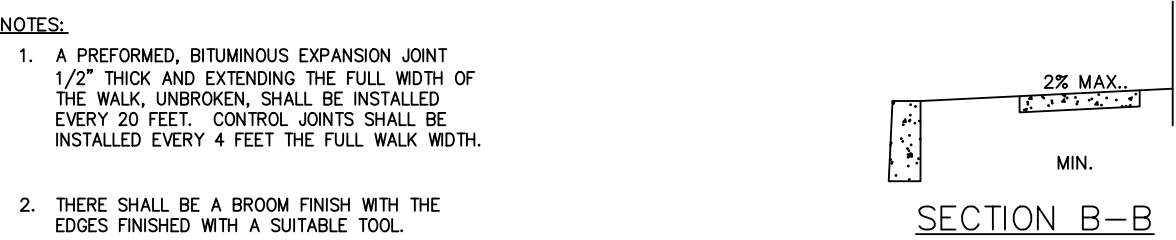
CONCRETE SIDEWALK DETAIL
N.T.S.



TYPICAL SECTION CONCRETE DRIVEWAY
N.T.S.



SECTION A-A
N.T.S.

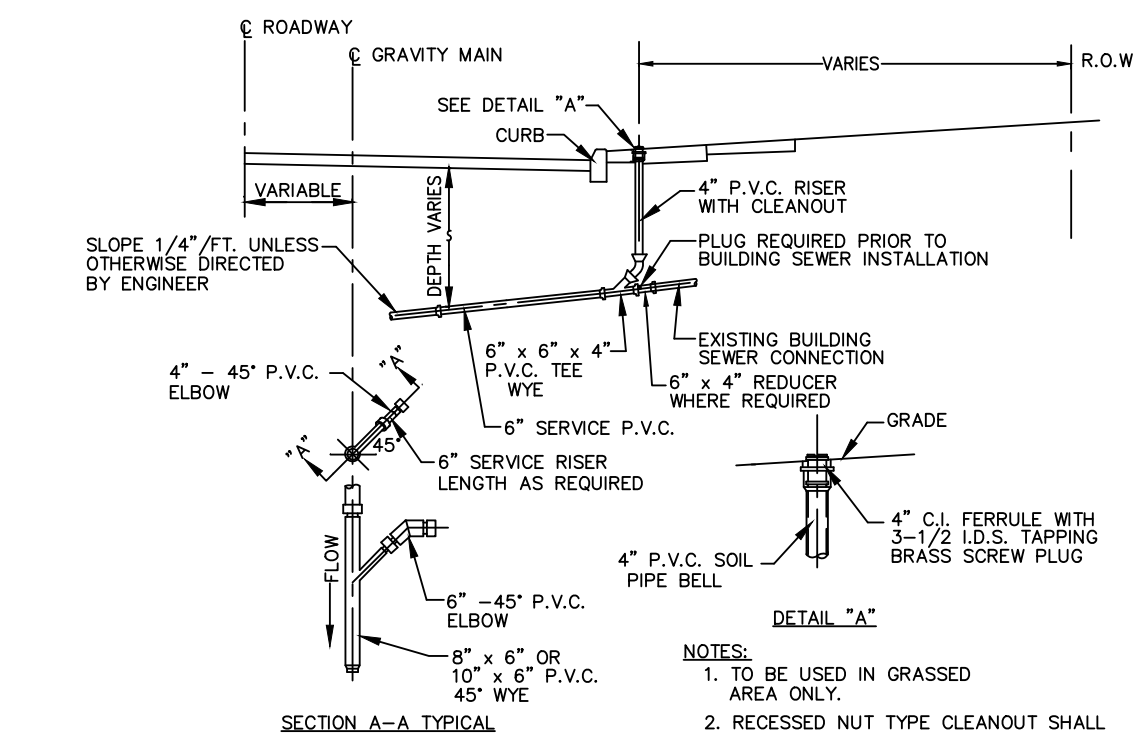


SECTION B-B
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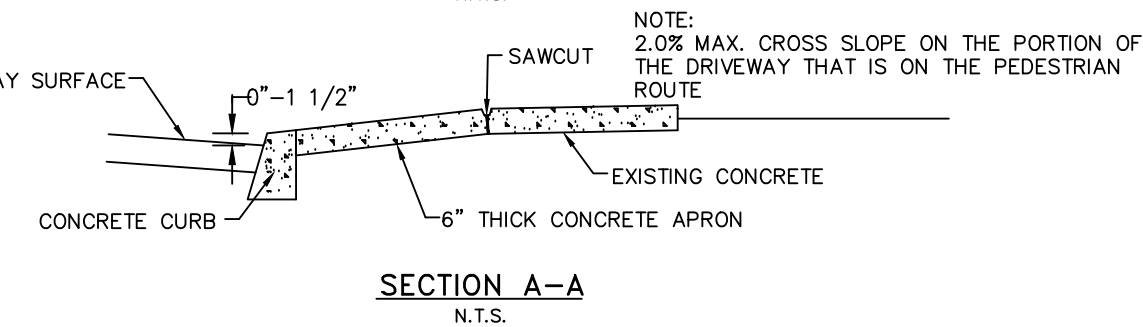
NOTES:

1. A PREFORMED, BITUMINOUS EXPANSION JOINT 1/2" THICK AND EXTENDING THE FULL WIDTH OF THE WALK, UNBROKEN, SHALL BE INSTALLED EVERY 20 FEET. CONTROL JOINTS SHALL BE INSTALLED EVERY 4 FEET THE FULL WALK WIDTH.
2. THERE SHALL BE A BROOM FINISH WITH THE EDGES FINISHED WITH A SUITABLE TOOL.

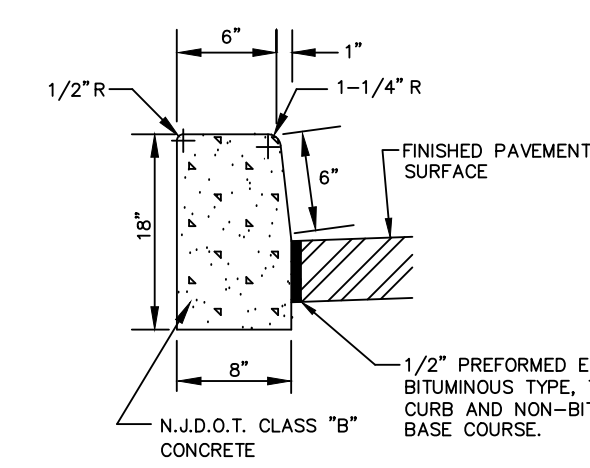
SIDEWALK DETAIL
NON COUNTY R-0-W
N.T.S.



SANITARY SEWER SERVICE (P.V.C.) CONNECTION DETAIL
N.T.S.



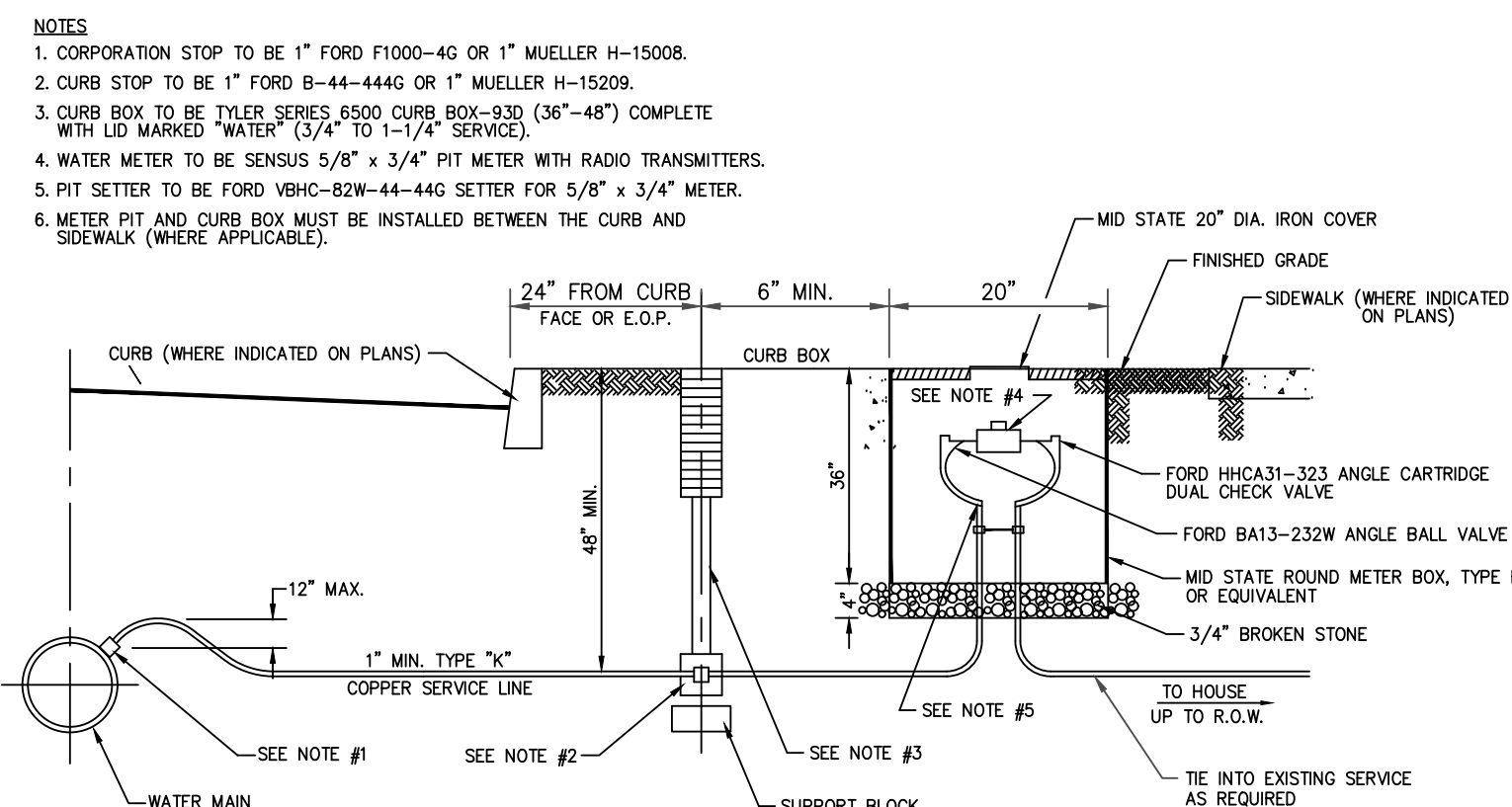
CONCRETE DRIVEWAY APRON & DEPRESSED CURB DETAIL
N.T.S.



6" x 8" x 18" CONCRETE CURB
NON COUNTY R-0-W
N.T.S.

NOTES:

1. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 10'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.
2. EXPANSION JOINTS THRU AND ADJACENT TO THE CURB SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CURB.
3. WHERE PROPOSED CONCRETE CURB ABUTS PROPOSED CONCRETE SIDEWALK, PROPOSED CONCRETE GUTTER, OR PROPOSED CONCRETE DRIVEWAY, THE CONSTRUCTION METHOD IS TO BE NON-MONOLITHIC.



WATER SERVICE CONNECTION, COMPLETE
N.T.S.

NOTES:

1. CORPORATION STOP TO BE 1" FORD F1000-4G OR 1" MUELLER H-1500B.
2. CURB STOP TO BE 1" FORD B-44-444G OR 1" MUELLER H-1500B.
3. CURB BOX TO BE TYLER SERIES 6500 CURB BOX-930 (36"-48") COMPLETE WITH LID MARKED "WATER" (3/4" TO 1-1/4" SERVICE).
4. WATER METER TO BE SENGUS 5/8" x 3/4" PIT METER WITH RADIO TRANSMITTERS.
5. PIT SETTER TO BE FORD 164C-80W-44-44G SETTER FOR 5/8" x 3/4" METER.
6. METER PIT AND CURB BOX MUST BE INSTALLED BETWEEN THE CURB AND SIDEWALK (WHERE APPLICABLE).

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ATLANTIC COUNTY APPROVALS

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<input type="checkbox"/> SUBDIVISION REVIEW			
<input type="checkbox"/> SITE PLAN REVIEW			
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APPROVALS

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

MUNICIPAL ENGINEER _____ DATE _____

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TAX COLLECTOR _____ DATE _____

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SITE DETAIL
BLOCK 207.03 LOT 4
MARGATE CITY ATLANTIC COUNTY NEW JERSEY

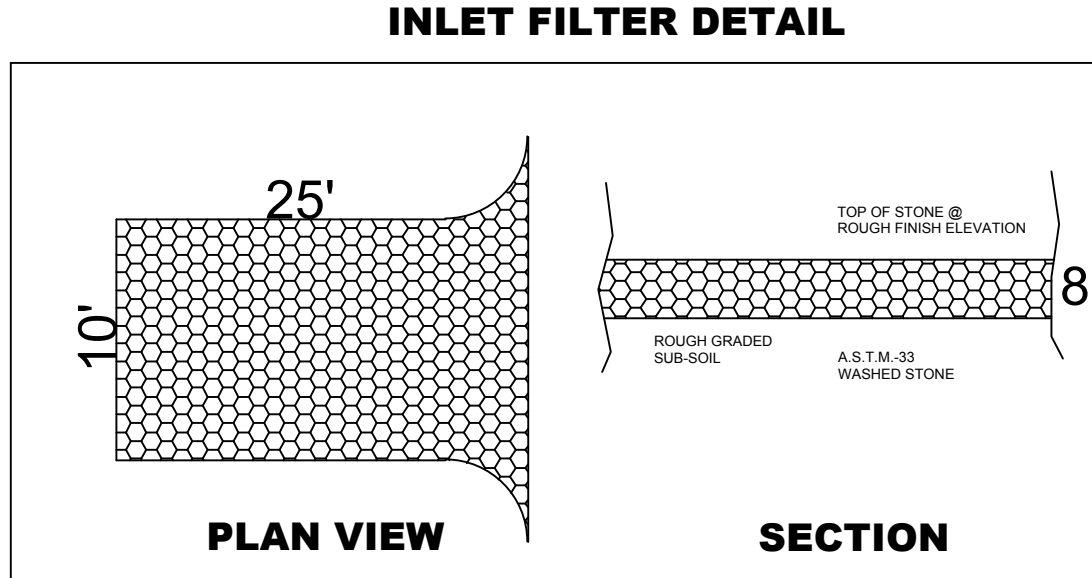
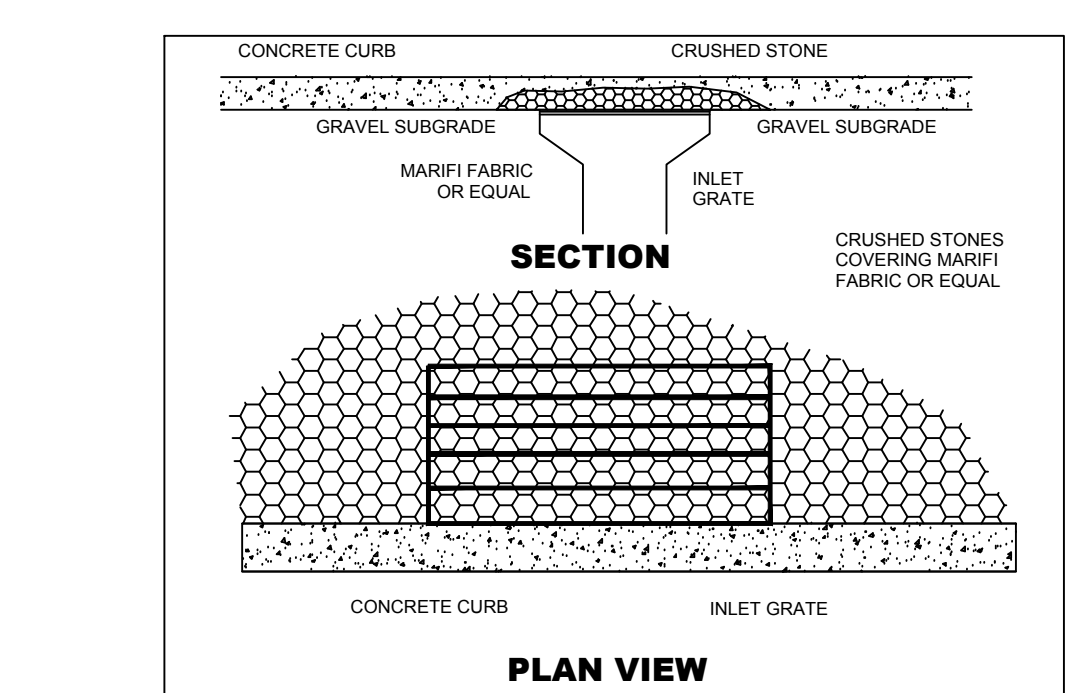
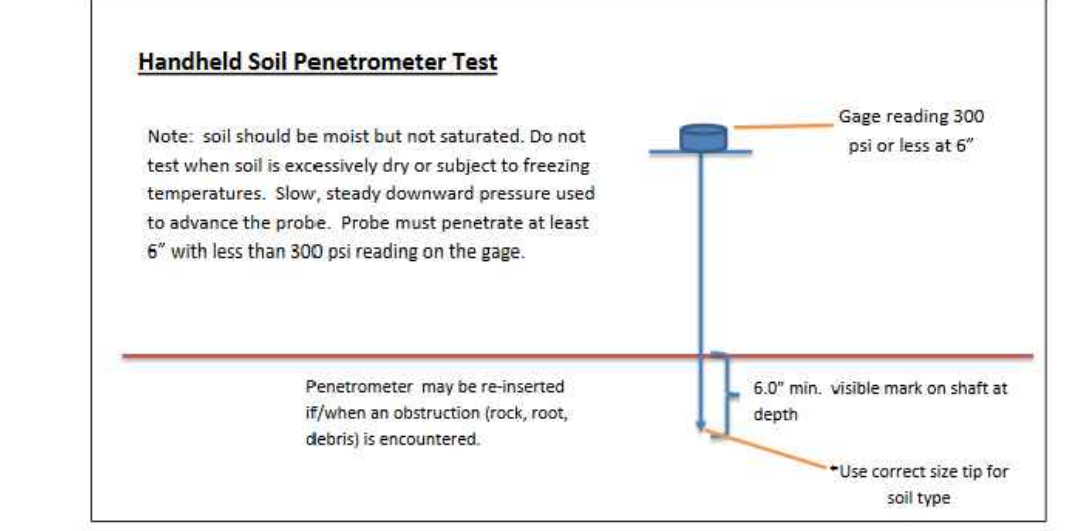
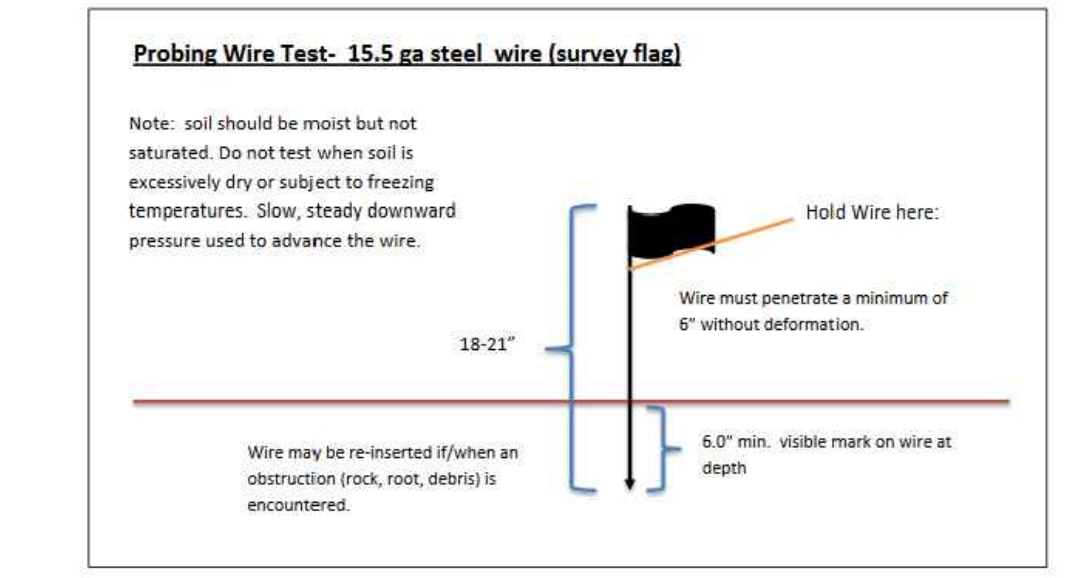
SCALE: N.T.S. DATE: 09/15/22

BY: WJP PROJ. NO.: 40054

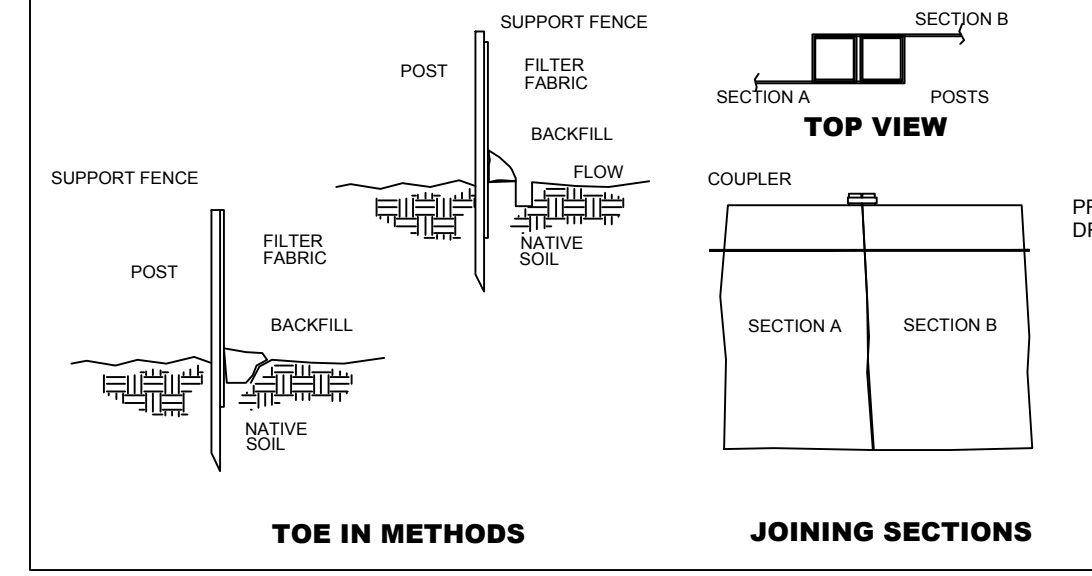
SHEET NO. **C-4**
811
SHEET 4 of 6

- MISCELLANEOUS:**
- A REPORT OF COMPLIANCE MUST BE OBTAINED FROM THE DISTRICT PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY FROM THE MUNICIPALITY. A REQUEST FOR A DISTRICT INSPECTION FOR THE RELEASE OF A REPORT OF COMPLIANCE MUST BE MADE 5 WORKING DAYS IN ADVANCE. THIS APPLIES TO BOTH COMPLETE (FINAL) AND CONDITIONAL (TEMPORARY) CERTIFICATES.
 - ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

Simplified Testing Methods



STABILIZED CONSTRUCTION ENTRANCE DETAIL

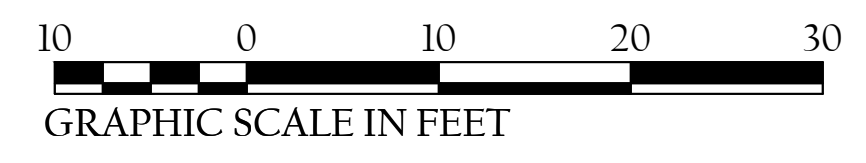
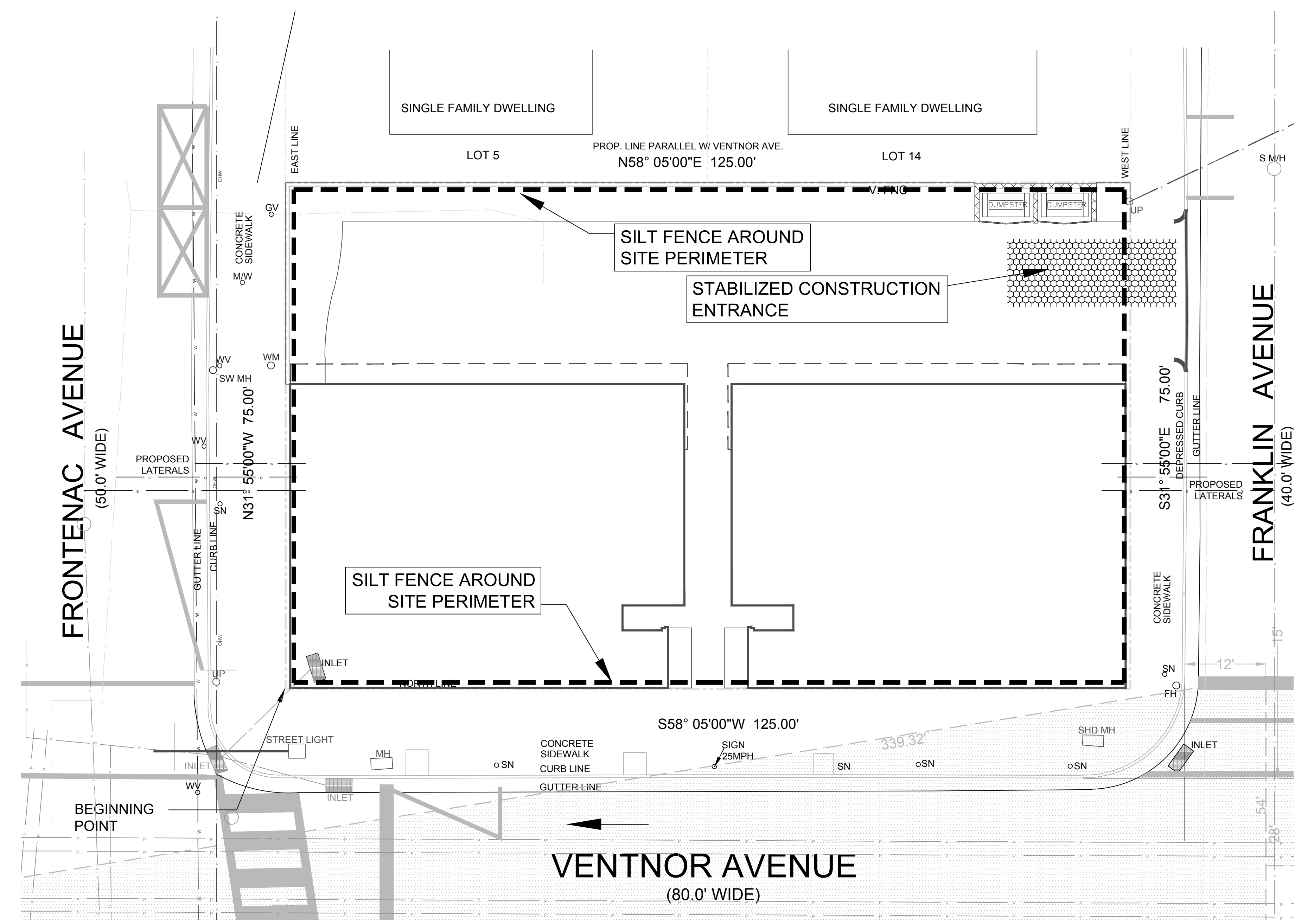


ENVIROFENCE DETAIL



REVISIONS

NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION



CONSTRUCTION NOTES

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STRUCTURAL MEASURES

- STABILIZED CONSTRUCTION ENTRANCE:** The Contractor shall construct a temporary stone apron at the designated entrances to the site to limit mud tracking onto area roadways. It shall consist of ASTM C-33, size #20-30 crushed stone surface, 15' wide x 30' long x 8' deep.
- HAY BALE DAM:** The Contractor shall construct a hay bale dam around all stockpile areas. The hay bale dam shall be constructed with the following provisions:
 - Bales shall be placed in a row with ends tightly abutting the adjacent bales.
 - Each bale shall be embedded in the soil a minimum of 4\"/>
- SILT FENCE:** A silt fence shall be constructed at locations shown on this Soil Erosion & Sediment Control Plan to prevent the transport of sediment into the municipal stormwater management system and surface water bodies. The inlet sediment filter shall consist of:
 - Install fence posts 8' on-center on a slight angle toward the anticipated runoff source.
 - Dig a 6\"/>
- LOW POINT INLET SEDIMENT FILTER:** The Contractor shall construct low point inlet sediment filters at those locations on the Soil Erosion & Sediment Control Plan to prevent the transport of sediment into the municipal stormwater system and surface water bodies. The inlet sediment filter shall consist of:
 - Hardware cloth or comparable wire mesh with 1/2\"/>

NON-STRUCTURAL MEASURES

- PERMANENT VEGETATION:** Immediately following the completion of construction activities at the site, the Contractor shall stabilize with permanent vegetative cover all exposed and disturbed soils. Permanent vegetative cover shall be accomplished as specified below:
 - Topsoiling - The Contractor shall prepare areas to be stabilized with permanent vegetative cover by applying topsoil to a uniform depth of 4\"/>
- TEMPORARY VEGETATIVE COVER:** Prior to halting construction for periods longer than 60 days and during the off-season, the Contractor shall stabilize all exposed soils with temporary vegetative cover. Temporary stabilization shall be accomplished by the following methods and materials:

Material	Type	Rate
LIME	pulverized, dolomitic	90 lbs / 1,000 sf
FERTILIZER	10-20-10	14 lbs / 1,000 sf
SEED	annual ryegrass	3 lbs / 1,000 sf
MULCH	straw or salt hay	70 lbs / 1,000 sf

- Work lime and fertilizer into soil to a depth of 2\"/>
- STABILIZATION WITH MULCH ONLY:** Apply untreated straw or salt hay at the rate of 70 lbs / 1,000 sf. It shall be anchored immediately through the use of Peg and Twine method.
 - PEG AND TWINE METHOD OF MULCH ANCHORING:** Drive 8-10\"/>
- DUST CONTROL:** To control dust generation on-site, the Contractor shall wet construction traffic routes and staging areas.
 - MAINTENANCE**
 - Existing vegetative cover beyond the limits of construction shall be retained until final stabilization is complete.
 - The Contractor shall schedule and conduct their operations to minimize erosion of soils and to prevent silt and mud clogging of streams, rivers, irrigation systems and impoundments (dikes, reservoirs, etc.). Construction of drainage facilities and performance of their contract work which will contribute to the control of erosion and sedimentation shall be carried out in conjunction with earthwork operations or as soon thereafter as practicable.
 - When borrow material is obtained from other than commercially operated sources, erosion of the borrow site shall be so controlled both during and after completion of the work that erosion will be minimized and sediment will not enter streams or other bodies of water. Waste or disposal areas and construction roads shall be located and constructed in a manner that will keep sediment from entering streams.
 - Pollutants such as fuels, lubricants, bitumens, raw sewage, and other harmful materials shall not be discharged into or near rivers, streams and impoundments or into natural or man-made channels leading thereto. Wash water or waste from concrete mixing operations shall not be allowed to enter live streams.

CONSTRUCTION SCHEDULE

- Construct temporary soil erosion and sediment control measures
- Demolition of existing structures and site clearing
- Install underground utilities
- Rough grade
- Construction of buildings
- Final grading
- Collect silt and sediment and place back on site
- Landscape treatment

ATLANTIC COUNTY APPROVALS

OFFICE OF POLICY, PLANNING & ECONOMIC DEVELOPMENT

SUBDIVISION REVIEW
 SITE PLAN REVIEW

DATE RECEIVED	FINDINGS COUNTY ROAD OR DRAINAGE FACILITIES AFFECTED YES <input type="checkbox"/> NO <input type="checkbox"/>	FILE NO.

COUNTY PLANNING BOARD	FINDINGS <input type="checkbox"/> APPROVED <input type="checkbox"/> DISAPPROVED <input type="checkbox"/> FAVORABLE <input type="checkbox"/> UNFAVORABLE <input type="checkbox"/> RECOMMENDATIONS	DATE OF ACTION	SIGNATURE

APPROVALS

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

MUNICIPAL ENGINEER _____ DATE _____

CERTIFICATION OF PAID TAXES _____

TAX COLLECTOR _____ DATE _____

KNOW WHAT'S BELOW - CALL BEFORE YOU DIG! Dial 811 or 800-272-1000. It's FREE and it's the LAW!

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ARTHUR PONZIO CO. RESPONSIBILITIES DO NOT INCLUDE THE ANY FIELD INSPECTION, CONSTRUCTION MANAGEMENT, CONSTRUCTION OR CONTRACTOR'S COMPLIANCE WITH CONSTRUCTION DOCUMENTS.

NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION

ARTO ARTHUR PONZIO CO. ENGINEERS & SURVEYORS PLANNERS

400 NORTH DOVER AVENUE, ATLANTIC CITY, N.J. 08401
PHONE: 609-344-8194 FAX: 609-344-1594
NEW JERSEY STATE AUTH. NO.: 24GA28001300

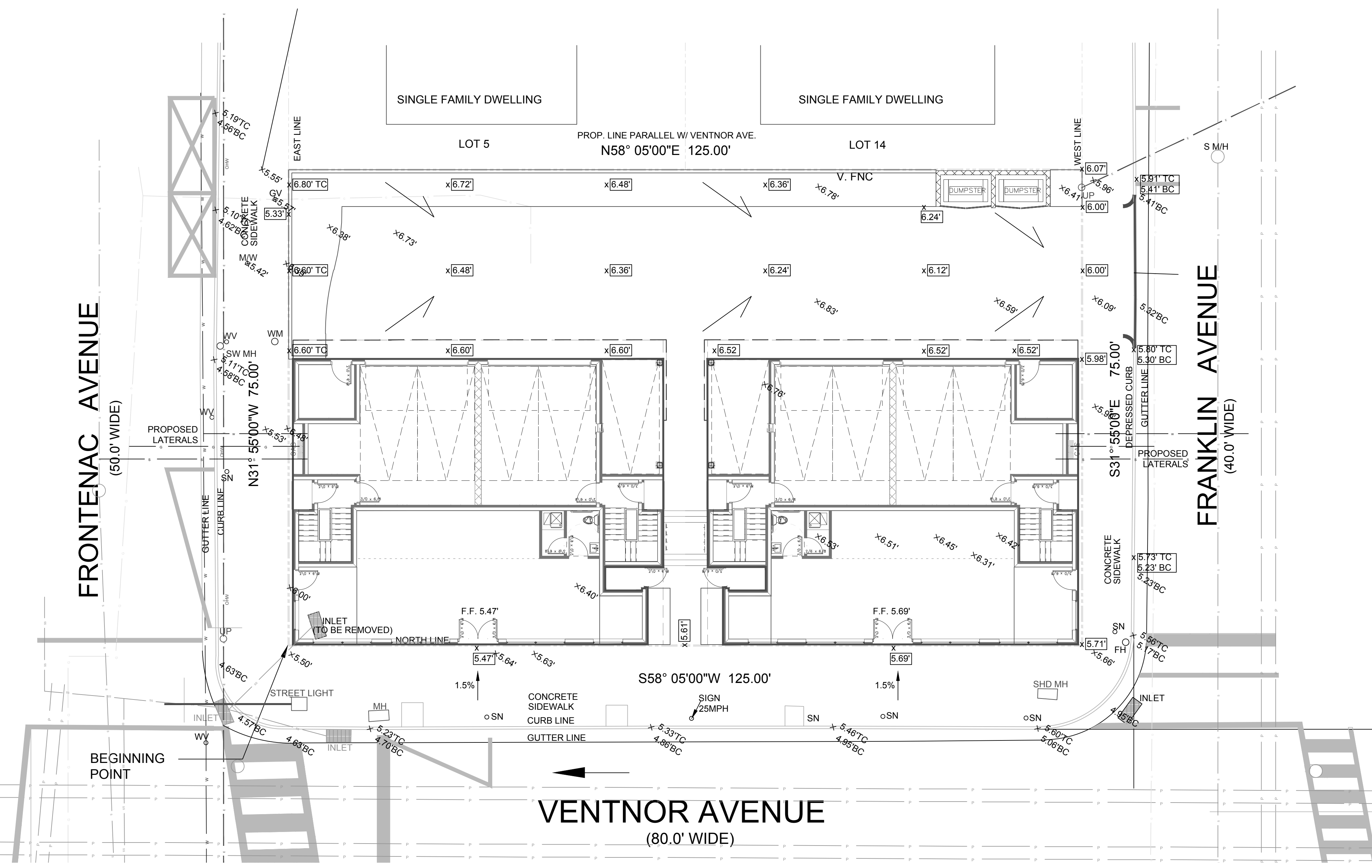
JON J. BARNHART
PROFESSIONAL PLANNER N.J. NO. 33LI00581500
PROFESSIONAL ENGINEER N.J. NO. GE43483

ARTHUR W. PONZIO, JR.
PROFESSIONAL PLANNER N.J. NO. 33LI00267600
PROFESSIONAL LAND SURVEYOR N.J. NO. 24GS02831400

SOIL EROSION & SEDIMENT CONTROL PLAN
BLOCK 207.03 LOT 4
MARGATE CITY ATLANTIC COUNTY NEW JERSEY

SCALE: N.T.S. BY: WJP
DATE: 09/15/22 PROJ. NO.: 40054

SHEET NO. **C-5**
SHEET 5 of 6



ELEVATION LEGEND

- X.XX' = EXISTING SPOT ELEVATION NAV88 DATUM
- X.XX' BC = EXISTING BOTTOM OF CURB ELEVATION
- X.XX' TC = EXISTING TOP OF CURB ELEVATION
- X.XX' = PROPOSED SPOT ELEVATION
- X.XX' TC = PROPOSED TOP OF CURB ELEVATION
- X.XX' BC = PROPOSED BOTTOM OF CURB ELEVATION

ATLANTIC COUNTY APPROVALS

OFFICE OF POLICY, PLANNING & ECONOMIC DEVELOPMENT			
<input type="checkbox"/> SUBDIVISION REVIEW <input type="checkbox"/> SITE PLAN REVIEW			
DATE RECEIVED	FINDINGS COUNTY ROAD OR DRAINAGE FACILITIES AFFECTED YES <input type="checkbox"/> NO <input type="checkbox"/>	FILE NO.	
COUNTY PLANNING BOARD	FINDINGS	DATE OF ACTION	SIGNATURE
	<input type="checkbox"/> APPROVED <input type="checkbox"/> DISAPPROVED <input type="checkbox"/> FAVORABLE <input type="checkbox"/> UNFAVORABLE <input type="checkbox"/> RECOMMENDATIONS		

APPROVALS

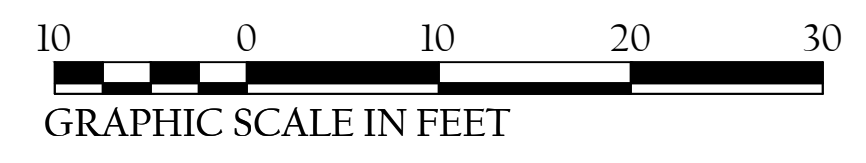
CHAIRMAN _____	DATE _____
SECRETARY _____	DATE _____
MUNICIPAL ENGINEER _____	DATE _____
CERTIFICATION OF PAID TAXES	
TAX COLLECTOR _____	DATE _____

CONSTRUCTION NOTES

- ALL RESTORATIONS IN THE FRONTENAC AVENUE AND FRANKLIN AVENUE RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF §242 STREETS AND SIDEWALKS OF THE MARGATE CITY MUNICIPAL CODE.
- ALL RESTORATIONS IN THE VENTNOR AVENUE RIGHT OF WAY PER ATLANTIC COUNTY LAND DEVELOPMENT STANDARDS
- THE OWNER OR HIS REPRESENTATIVE IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY, DURING THE COURSE OF IMPROVEMENTS PURSUANT TO N.J.A.C. 5.23-22.21(e) OF THE NEW JERSEY UNIFORM CONSTRUCTION CODE AND C.F.R. 1926(f) (OSHA COMPETENT PERSON)

SHEET SET

- C-1 TITLE SHEET
- C-2 EXISTING CONDITIONS
- C-3 SUBDIVISION PLAN
- C-4 SITE PLAN DETAILS
- C-5 SOIL EROSION & SEDIMENT CONTROL PLAN
- C-6 GRADING & DRAINAGE PLAN



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NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION

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ENGINEERS & SURVEYORS
PLANNERS
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PHONE: 609-344-8194 FAX: 609-344-1594
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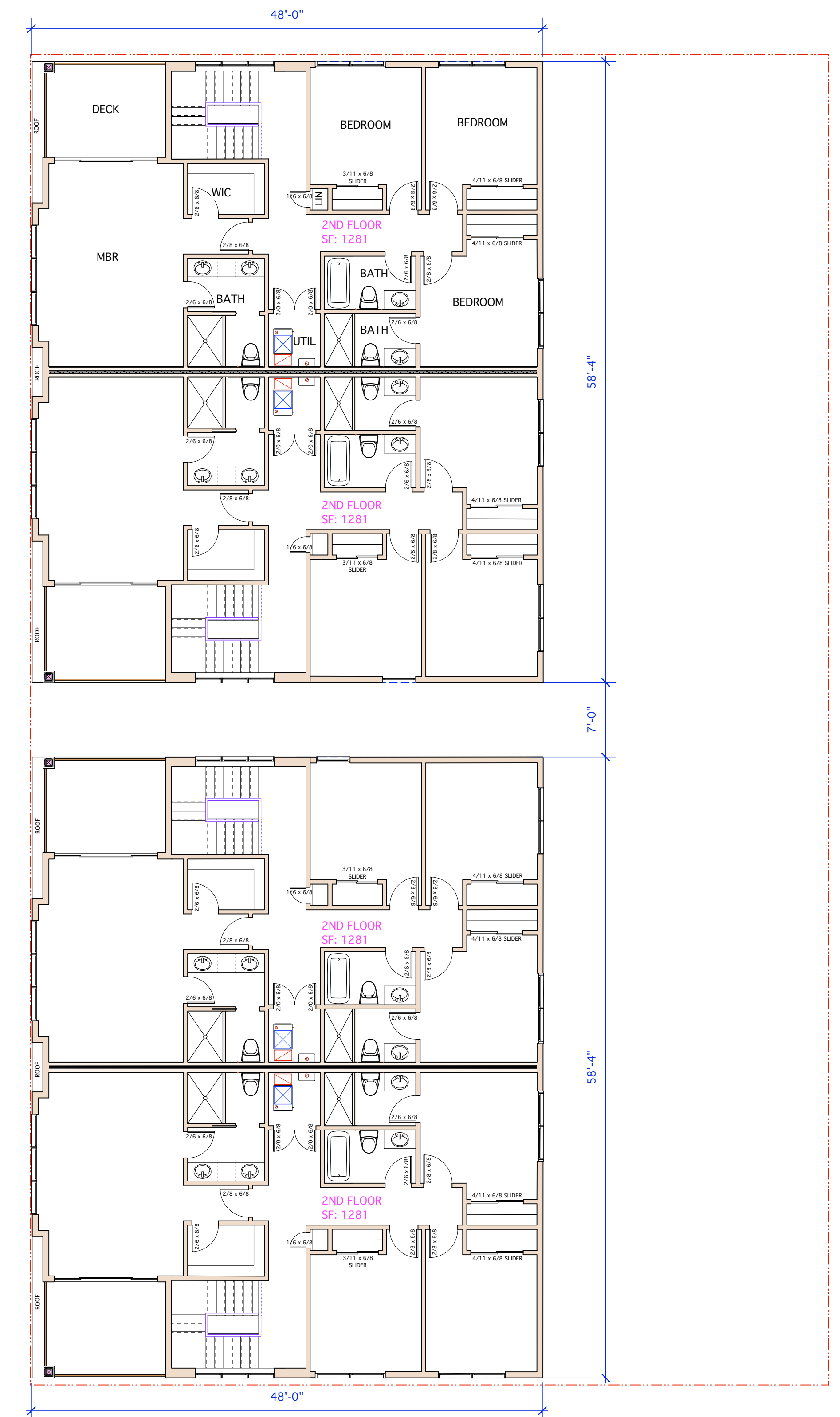
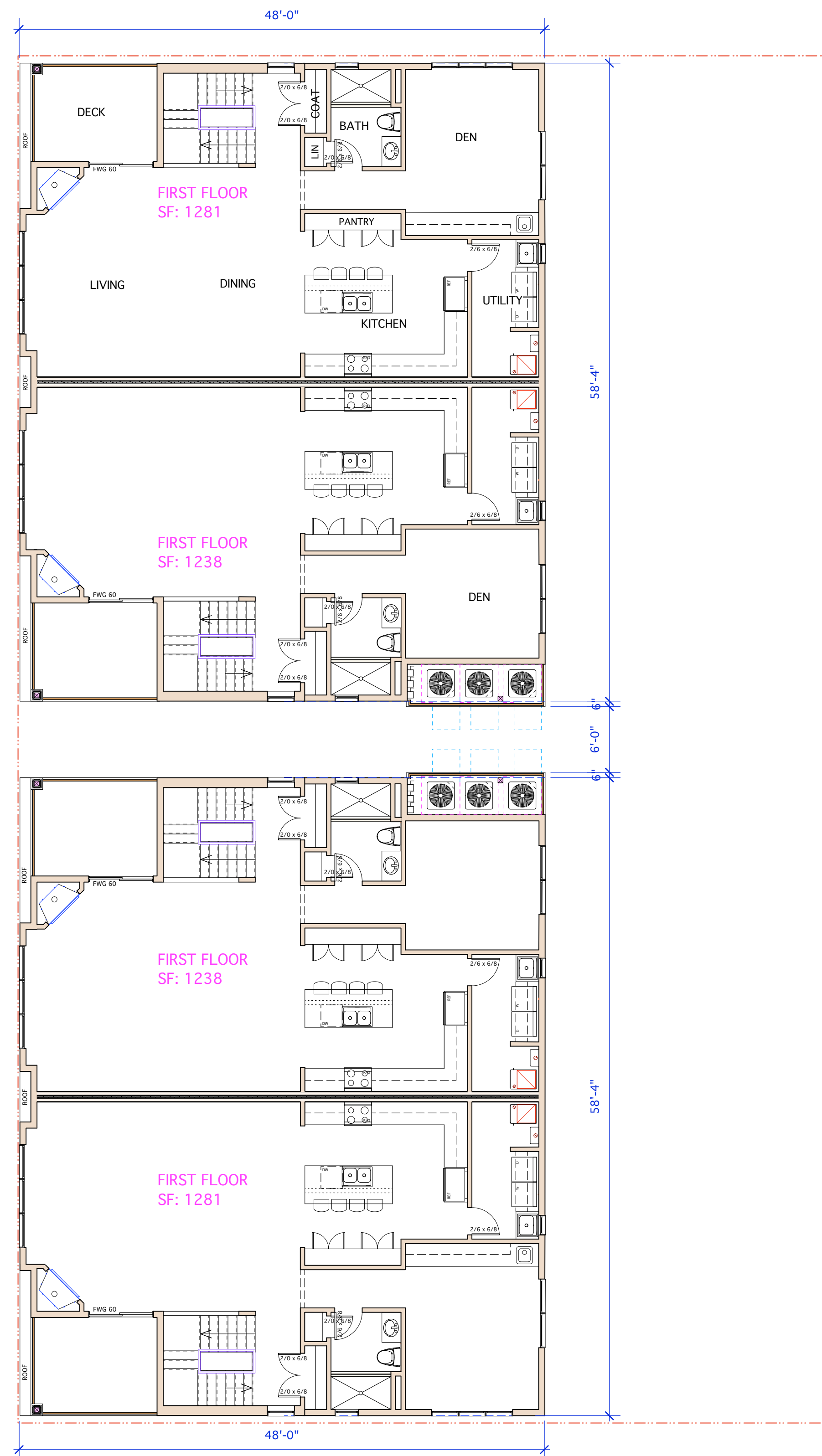
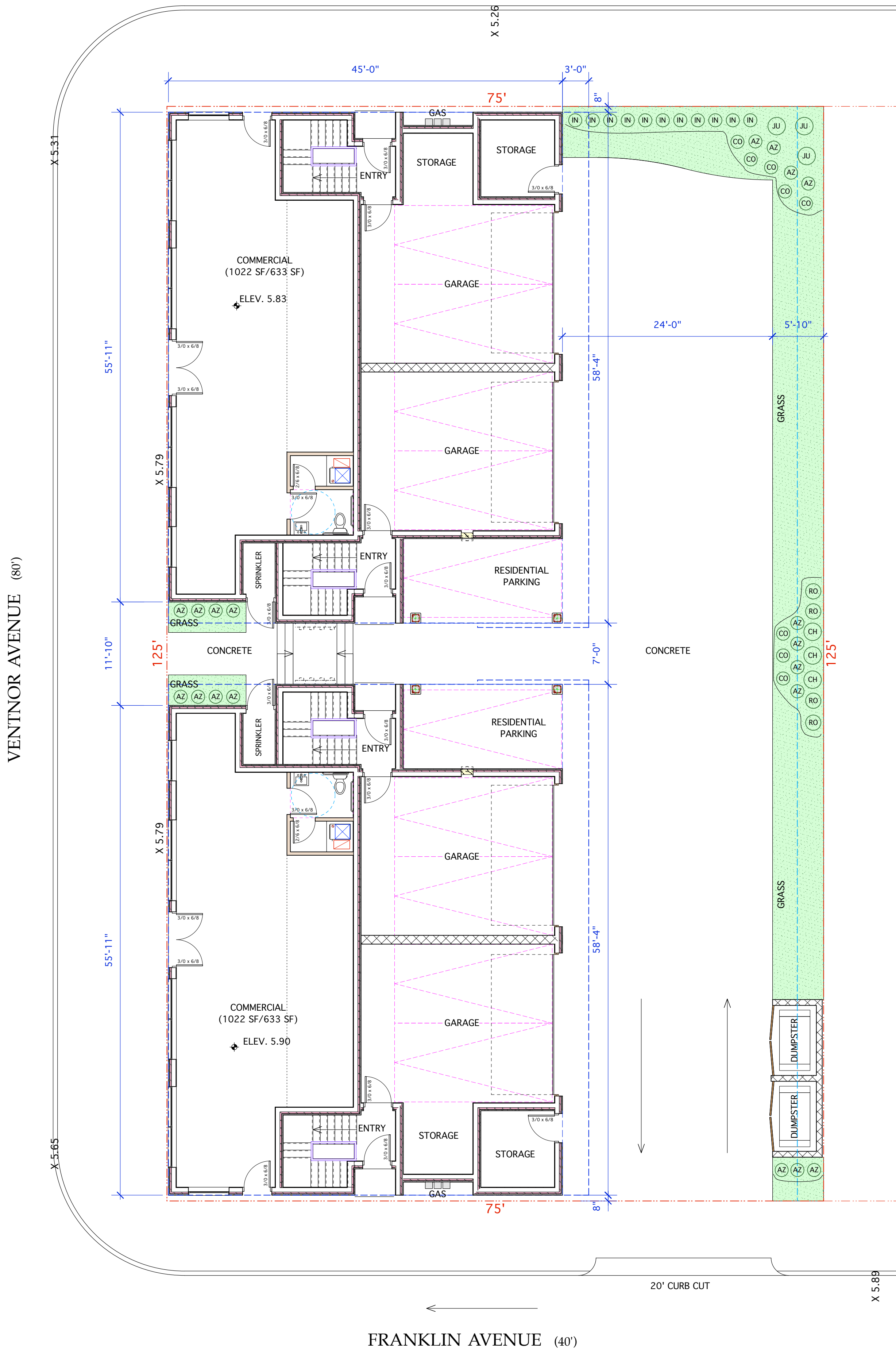
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GRADING & DRAINAGE PLAN
BLOCK 207.03 LOT 4
MARGATE CITY ATLANTIC COUNTY NEW JERSEY
SCALE: N.T.S. BY: WJP
DATE: 09/15/22 PROJ. NO.: 40054

SHEET NO. **C-6**
SHEET 6 of 6

FRONTENAC AVENUE (50')



FIRST FLOOR PLAN SCALE: 1/8" = 1'-0"

SECOND FLOOR PLAN SCALE: 1/8" = 1'-0"

BOARD CHAIRPERSON _____
 BOARD ADMINISTRATOR _____
 ZONING OFFICER _____
 BOARD ENGINEER _____
 CITY CLERK _____
 CONSTRUCTION OFFICIAL _____

PETER C. WEISS ARCHITECT	
Peter C. Weiss, RA, LLC • 38 E. Oakcrest Avenue, Northfield, NJ 08225 • (609) 822-9616	
PROPOSED MIXED USE BUILDING	
7903 VENTNOR AVENUE BLOCK 207.03 LOT 4 MARGATE, NEW JERSEY	
Project No. 2202 Date: 7/26/22 Scale: As Shown Drawn By: PCW ©2022 Peter C. Weiss	Revisions _____ _____ _____
Peter C. Weiss AI 10004	
Sheet No. A-1	

7/26/22 11:26:25 AM