

PMB&B

PERSKIE MAIRONE BROG BARRERA & BAYLINSON

A PROFESSIONAL CORPORATION

COUNSELLORS AT LAW
CORNERSTONE COMMERCE CENTER
1201 NEW ROAD, SUITE 204, LINWOOD, NJ 08221
PHONE: 609-601-1775 FAX: 609-601-8440

PHILIP J. PERSKIE*
STEVEN J. BROG**
CHRISTOPHER M. BAYLINSON***
RICHARD S. MAIRONE*
ALEXANDER J. BARRERA*
JAMES J. LEEDS

COUNSEL TO THE FIRM
STEVEN P. PERSKIE*

*MASTER OF LAWS TAXATION
**ALSO MEMBER OF NY BAR
***CERTIFIED CIVIL TRIAL ATTORNEY

March 24, 2023

Via Hand Delivery

Palma Shiles, Administrator
Margate Planning Board
9001 Winchester Avenue
Margate, NJ 08402

Re: Application of SAJ Associates LLC
7800 Ventnor Avenue
Block 105, Lot 25
Margate, New Jersey
Our File No.: 12671-3

Dear Ms. Shiles:

We represent SAJ Associates LLC with respect to its application to the Margate Planning Board scheduled to be heard on April 27, 2023. SAJ makes application requesting site plan approval in order to construct a mixed use building with commercial at grade and four residential units above. In support of the application, the following is enclosed for the Planning Board's review and consideration:

1. (18) – Application for Action by Planning Board with Addendum and Checklist;
2. (18) – Site Plan prepared by Schaeffer Nassar Scheidegg Consulting Engineers, LLC dated 3-2-23, consisting of six sheets;
3. (18) – Architectural plan prepared by Fenwick Architects dated 12/21/22, revised through 3/02/23, consisting of Sheets A1 and A2;
4. (18) – Staff Committee Application and Action;
5. (18) – Corporate Disclosure Certification;
6. (1) – 200 foot property owners' list;
7. (1) – Confirmation of paid taxes, water and sewer; and

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Palma Shiles, Administrator
Margate Planning Board
March 24, 2023
Page 2 of 2

8. (1) – Applicant's check in the amount of \$750.00 representing the application fee; \$1,500.00 representing the escrow fee; and executed W-9 form.

Should you require any further information in advance of the April 27th hearing date, please do not hesitate to contact me.

Thank you as always for your kind attention and usual courtesies.

Very truly yours,

PERSKIE MAIRONE BROG
BARRERA & BAYLINSON, P.C.

BY: 
CHRISTOPHER M. BAYLINSON
cmabaylinson@pmbb.com

CMB:dbm

Enclosure

c: Salim Joarder, SAJ Associates, LLC (via email) (w/ Application)
Lee Rossner (via email) (w/ Application)
Stephen J. Fenwick, R.A. (via email) (w/ Application)
Andrew F. Schaeffer, PE, PP (via email) (w/ Application)

S:\Joarder, Salim (12671)\Mat 3 - Purchase of 7800 Ventnor Ave., Margate\Shiles (application submission) 3-24-23 CMB ltr.docx

APPLICATION FOR ACTION BY PLANNING BOARD
MARGATE, NEW JERSEY

PLEASE
TYPE OR
PRINT

1. **Date of Application:** March 24, 2023

2. **Zoning District:**

S-60	Single Family Residential	<input type="checkbox"/>	MF	Multi-Family Residential	<input type="checkbox"/>
S-60-WF	Single- Family Residential	<input type="checkbox"/>	CBD	Central Business District	<input checked="" type="checkbox"/>
S-50	Single Family Residential	<input type="checkbox"/>	C-1	Commercial	<input type="checkbox"/>
S-40	Single Family Residential	<input type="checkbox"/>	C-2	Commercial/Business	<input type="checkbox"/>
S-40-WF	Single-Family Residential	<input type="checkbox"/>	WSD	Waterfront Special District	<input type="checkbox"/>
S-30	Single Family Residential	<input type="checkbox"/>	R	Riparian	<input type="checkbox"/>
S-25	Single Family Residential	<input type="checkbox"/>	WAPC	Washington Avenue Pedestrian Corr.	<input type="checkbox"/>
S-25 (HD)	Historic Single Family Residential	<input type="checkbox"/>	WSPA	Government and Open Space	<input type="checkbox"/>
TF	Two-Family Residential	<input type="checkbox"/>	I	Institutional Use	<input type="checkbox"/>
B	Beach	<input type="checkbox"/>			

3. **Subject Parcel:**

Street Address(es) 7800 Ventnor Avenue
Block Number 105 Lot No(s) 25
Total Area (in square feet) 8,840 s.f.
Frontage: 85 ft.
Depth: 104 ft.

4. **Information about the Applicant:**

Full name(s) SAJ Associates LLC
If Business Entity, Names of Officers or Principals (Submit disclosure statement if appropriate)
Please see attached Corporate Disclosure
Local Residence Address _____ Zip _____
Other Residence Address 335 Evesham Avenue, Lawnside, NJ Zip 08045
Business Address _____ Zip _____
Phone Number(s) (include area code); _____
Email Address _____
Business _____ Fax _____ Cell Phone (856) 524-1200

5. Interest in Subject Property:

(Supply copies of relevant documents with this Application):

- By lease dated _____
- By Agreement of Sale dated _____
- By Ownership of property since 1/2023
- ___ By other interest in law (describe):

6. If you do not own the Subject Property, provide the following regarding the Owner: N/A

Name(s) _____
 Address _____
 Phone No. (include area code);
 Res. _____
 Bus. _____
 Fax _____
 Cell _____

7. Type of Application Applied For (check all applicable):

- | | | |
|--|---|--|
| <input type="checkbox"/> C Variance(s) | <input type="checkbox"/> Minor Subdivision | <input type="checkbox"/> Interpretation (B Variance) |
| <input type="checkbox"/> D Variance(s) | <input type="checkbox"/> Major Subdivision | <input type="checkbox"/> Other (Explain) |
| <input checked="" type="checkbox"/> Minor Site Plan Action | <input type="checkbox"/> Conditional Use Permit | _____ |
| <input type="checkbox"/> Major Site Plan Action | <input type="checkbox"/> Appeal (A) | _____ |

8. Application Made To: X Planning Board ___ Other

9. Professionals Representing the Applicant: (Check applicable professional and provide information)

___ Attorney: Name Christopher M. Baylinson, Esquire Phone (609) 601-1775
 Address 1201 New Road, Suite 204, Linwood, NJ 08221
 Fax (609) 601-8440 Cell _____ Email cbaylinson@pmbb.com

___ Architect: Name Stephen J. Fenwick, RA Phone (609) 653-0222
 Address 646 Ocean Heights Ave., Linwood, NJ 08221
 Fax (609) 653-1637 Cell _____ Email info@fenwickarchitects.com

___ Engineer: Name Andrew F. Schaeffer, P.E. Phone (609) 625-7400
 Address 1425 Cantillon Blvd., Mays Landing, NJ 08330
 Fax (609) 909-0253 Cell _____ Email andy@snsce.com

___ Preparer of Subdivision or Site Plan (if different from above)
 Name _____ Phone _____
 Address _____
 Fax _____ Cell _____

(Be sure to include all area codes and zip codes in the above)

10. If Site Plan Action is Required:

-What is the present use of the site and building(s)?
 Unoccupied restaurant

-How will this be changed?
 Mixed use building with commercial space at
 grade and four residences above

11. If Subdivision Action is Required: N/A

-After conferring with the City Tax Assessor, provide lot numbers of new lot(s), dimensions, and area of each: (use extra pages, if necessary)

Lot No(s)	Dimension(s)	Area(s)
_____	_____ x _____	_____ S.F.
_____	_____ x _____	_____ S.F.
_____	_____ x _____	_____ S.F.

-Purpose of the Subdivision

To sell lot(s)

To build and sell homes (or other buildings)

Other (please explain): _____

12. If Variances are Required: N/A

(Note: Properly scaled site plan must show all dimensions relevant to variance analysis)

-Current use of lot(s) and building(s): _____

-Proposed use: _____

-If a "D" or "Use" Variance is required, please explain: _____

-Regarding any dimensional variances required, please fill out the following chart:

Variance	Requirement of District	Present Condition	Proposed Condition
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

13. Prior Action: Please detail any prior hearing and/or decision relevant to this application. Supply date, name of Board, and results. (IF YOU ARE NOT SURE PLEASE CHECK WITH EITHER BOARD ADMINISTRATOR.) If no prior action, write "none".

February 2023 - Denial with variance for commercial parking spaces

14. County and Other Agency Actions (Provide necessary dates and decisions):

Site Plan:
 To be filed pending municipal approval

Subdivision:
 N/A

Other:
 N/A

15. Space for Narrative: In this space you must provide a general narrative description of what is being proposed, as well as any information not otherwise set forth above which may be relevant to the application, including justifications, clarifications and extenuating circumstances. FAILURE TO PROPERLY COMPLETE THIS SPACE WILL CONSTITUTE AN INCOMPLETE APPLICATION.

Please see attached Addendum to Application.

16. Signature of Applicant(s):

 Date 3/24/23
Christopher M. Baylinson, Esq. - Attorney for Applicant(s)
Date _____

17. This space for Board Administrator:

-Staff Committee action took place
_____ and case assigned to
the Planning Board for _____ or

-This application received by the
Planning Board Administrator on

By: _____

18. Notarized Statement by Applicant:

State of New Jersey } ss.
County of Atlantic }
_____, being duly
sworn according to law, deposes and says, that
the statements contained in the above application
and the statements contained in the papers
submitted herewith are true.
Sworn to and subscribed before me this _____
day of _____.

ADDENDUM TO APPLICATION

Application of SAJ Associates LLC 7800 Ventnor Avenue Block 105, Lot 25 Margate, New Jersey

SAJ Associates LLC is the owner of property located at 7800 Ventnor Avenue, identified on Margate's Tax Map as Lot 25 in Block 105, formerly Billy Ho's restaurant. The property is 8,840 square feet with 85' of frontage on Douglas Avenue and 104' of frontage on Ventnor Avenue. The property is located in the Central Business District (CBD) where mixed use buildings consisting of first floor commercial with residential above is a permitted principal use.

SAJ proposes to develop the property with a new mixed use building with 1,800 square feet of commercial space at grade with four four-bedroom residential units above. The entirety of the Ventnor Avenue frontage will be window front commercial space with paver sidewalk and street trees consistent with the downtown pedestrian streetscape called for in Margate's Master Plan. Balconies to the residential units will be above the commercial space along Ventnor Avenue, again promoting a main street like streetscape.

Vehicle access will be provided off of Douglas Avenue. The existing Ventnor Avenue access drive will be eliminated creating on-street parking. On-street parking is also created on Douglas Avenue by eliminating the existing open drive. All residential vehicle parking is behind the building with no garage doors or other vehicle parking visible from either street side. The Douglas Avenue frontage will be improved with sidewalk, street trees and a governor's strip with only the curb cut for access to the rear parking. The Ventnor Avenue curb cut is eliminated removing the unsafe access to the parking area conflicting with traffic at the street light on Douglas Avenue.

Pedestrian access is provided from either the Ventnor Avenue frontage or the rear parking area. Access is provided from the rear to both the commercial space and residential space with elevator access to the residential units above. Storage for each of the residential units is provided at grade along with a trash enclosure and mechanical room. Each of the residential units will have two on-site parking spaces with one overflow space (nine total) in compliance with the Residential Site Improvement Standards. 1,800 square feet of commercial space requires 9 spaces, also provided on site.

This application is variance free. All commercial parking is provided on-site as is all residential parking. There are no setback variances, no coverage variances and no height variance even though the height variance would make for higher ceilings for a more comfortable retail space.

The Board is without discretion when voting on a site plan that complies with the ordinance. New Jersey's Municipal Land Use Law at 40:55D-50 (**Final approval of site plans**) states as follows:

a. The planning board shall grant final approval if the detailed drawings, specifications and estimates of the application for final approval conform to the standards established by ordinance.

New Jersey case law follows the statute:

Shakoor Supermarkets. v. Old Bridge, 428 N.J. Super. 193 (App. Div.), certif. den. 208 N.J. 597 (2011). Noise and traffic generated by a permitted use is not a basis to deny site plan approval. A Planning Board has no authority to deny a site plan of a permitted use whether or not they think the use is appropriate. Wawa Food Market v. Planning Bd., 227 N.J. Super. 29, 40 (Appt. Div.), certif. den. 114 N.J. 299 (1988). A Planning Board has no authority to deny an application based on existing off-site conditions. Dunkin Donuts of NJ v. Tp. of North Brunswick, 193 N.J. Super. 513, 545 (App. Div. 1984). Site plan approval cannot be denied because of off-site traffic problems. Tennis Club Assoc. v. Planning Bd., 262 N.J. Super. 422 (App. Div. 1993). A board cannot deny site plan approval on the basis that a proposed development was too intensive for the site. Stochel v. Planning Bd. of Edison, 348 N.J. Super. 636 (Law Div. 2000). The Board has no authority to deny site plan approval based on the applicant's refusal to commit to a particular architectural style. Morris City Fair Housing v. Boonton Tp., 230 N.J. Super. 345 (App. Div. 1989).

For these reasons, the Planning Board is encouraged to approve the plan as submitted.

LAND USE

Variance Application Checklist

VARIANCE CHECKLIST (Page 1 of 1)		Submitted	Waiver Requested
1.	<p>Submit the following documents with the Standard Development Application:</p> <p>a. Copy of an area map showing all lots within 200 feet of the property.</p> <p>b. List of names, addresses, lot and block numbers, as they appear on the official tax records of the City, of all owners of property within 200 feet of the property affected by the application and upon whom the notice must be served in the manner provided by law.</p> <p>c. Copy of professional survey at a scale not smaller than 1" = 100' nor larger than 1/8" = 1'; clearly indicating the buildings and improvements thereon with all front, side and rear yard dimensions and setbacks from the property lines.</p> <p>d. Copies of subdivision, site plan or conditional use applications when applicable.</p> <p>e. Certification that taxes are paid.</p>	<p>a. TBP</p> <p>b. ✓</p> <p>✓</p> <p>d. ✓</p> <p>e. ✓</p>	
2.	<p>If the survey is more than one year old, attach certification of the applicant or owner that the survey accurately represents the status of the premises and all improvements at the time of filing for the variance, and show any proposed changes with all dimensions including enlargement of existing footprint, if applicable.</p>	<p>✓</p>	
3.	<p>A statement containing the following information:</p> <p>a. Date of acquisition of property and from whom.</p> <p>b. The number of dwelling units in existing building(s).</p> <p>c. State whether the applicant or owners own or are under contract to purchase any adjoining lands. Set forth lot and block number(s).</p> <p>d. State whether the application is or is not to be accompanied by a separate application for subdivision, site plan or conditional use approval.</p>	<p>a. N/A</p> <p>b. N/A</p> <p>c. N/A</p> <p>d. N/A</p>	
4.	<p>Ten (10) folded copies of a plot plan, map or survey.</p>	<p>✓</p>	
<p>Checklist prepared by: <u>Christopher M. Baylinson, Esq.</u></p> <p>Checklist reviewed by City: _____</p> <p>Application found complete on: _____</p> <p>Application found incomplete on: _____</p>		<p>Date: <u>3/24/23.</u></p> <p>_____</p> <p>Date: _____</p> <p>_____</p>	

Application of SAJ Associates LLC
 7800 Ventnor Avenue
 Block 105, Lot 25
 Margate, New Jersey

N/A Not applicable

TBP To be provided



**City of Margate City
Staff Committee Action - Planning Board**

Block 105	Lot 25	Applicant Name SAJ Associates LLC
District CBD		Address of Subject Application 7800 Ventnor Avenue

Dear (Name of Submitting Party) **Christopher M. Baylinson, Esq.**

Your submittal was considered at the Staff Committee meeting of **Wednesday, March 15, 2023**

The action(s) required prior to building permit are:

staff committee agrees with the application being variance free for the now.

The matter will be placed on the agenda of the Planning Board at 6:30PM on **Thursday, April 27, 2023**

Applications will be accepted on a first-come first-served basis. If the agenda becomes over-crowded, you will be rescheduled the following month. If you decide, for whatever reason, not to appear on this date, you must notify the Board Administrator as early as possible. The following month's agenda cannot be guaranteed.

The following conditions and special considerations must be addressed as part of your application to the Board:

submission of complete applications by the deadline, correct number of sets as agenda is full.

APPLICATION FEES:

D Variance:	\$0.00	Court Reporter:	\$0.00
C Variance:	\$0.00	Other:	\$0.00
Site Plan:	\$750.00	engineering	\$1,500.00
Subdivision:	\$0.00		\$0.00
Conditional Use Permit:	\$0.00		\$0.00

Applicant shall combine all application fees into one separate check made out to the City of Margate. Escrow fees shall be a separate check made out to the City of Margate. NOTE: If an Escrow deposit is requested, a W9 form must be submitted with the Escrow check. Any Escrow funds will be refunded to the name and address indicated on the W9 form.

Please note that in proceeding further with the formal Board Application, you are responsible for satisfying all of the checklist particulars in the appropriate section(s) of the Administrative Regulations. The instructions and checklist for your particular application can be found on the following pages of this booklet: **1-19**

You must also comply with the more detailed requirements of the Margate City Land Development Ordinance.

In order for you to be able to appear on the Board Agenda as per the above date, all application material must be submitted by **11:00am, Wednesday, April 05, 2023**

Palma Accardi
Planning Board Administrator
Wednesday, March 15, 2023

City of Margate City
Staff Committee Review Application
Please Type or Print Neatly • \$25 Submittal Fee

Office Use Only:	Date Submitted: _____ Paid: _____ Check/Receipt #: _____	Received By: _____ Board Administrator or Zoning Officer
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Staff Committee meetings are held as needed. Contents must comply in all particulars with the Administrative Regulations for Processing Planning Board Applications, sections on Staff Committee Review. The Board Administrator and other City Hall staff will answer reasonable questions regarding this procedure. They cannot, however, fill out these forms for you.

1. Date of Application: March 2, 2023
2. Submitted by – Name: Christopher M. Baylinson, Esq. Phone No.: (609) 601-1775
Address: 1201 New Road, Suite 204, Linwood, NJ 08221
Email Address: cbaylinson@pmbb.com
3. If the party submitting this form is other than the potential Applicant for Board action (attorney, architect, builder, engineer, etc.), then who would the APPLICANT be?
Name: SAJ Associates LLC Phone No.: (609) 868-0090
Address: c/o Lee Rossner, 110 Sound Dr., Cape May Court House, NJ 08210
Email Address: LRossner1@comcast.net
4. The applicant would be (Check one):
 Owner Buyer under Agreement of Sale
 Tenant Other: _____
5. If the applicant for Board action would be Tenant or Buyer, who is the present OWNER?
Name: _____ Phone No.: _____
Address: _____

6. **Proposed Action is Located as Follows:**
Street Address: 7800 Ventnor Avenue Block: 105 Lot(s): 25
Zoning District: CBD

7. Describe site (and buildings, if any) as existing now: (THIS SECTION MUST BE COMPLETED)
Vacant restaurant building

8. Answer the following as to:	<u>Existing Condition</u>	<u>Proposed Condition</u>
a. Size and Dimension of Lot:	85' x 104' - 8,840 sq. ft.	85' x 104' - 8,840 sq. ft.
b. Size, Dimensions of Buildings:	_____	_____
c. Height of Buildings (Feet):	_____	_____
d. Height of Buildings (Stories):	_____	_____
e. % of Coverage on Land:	_____	_____
f. Front Yard Setback:	_____	_____
g. Rear Yard Setback:	_____	_____
h. Side Yard Setbacks:	_____	_____

9. According to the Administrative Regulations, a scaled drawing must accompany this Application. If available, a survey would be appreciated. In addition, use this space to provide a detailed narrative description of the proposed action. Attach additional paper, if necessary:

(THIS SECTION MUST BE COMPLETED)


Applicant requests site plan approval in order to construct a mixed use building with 1,800 square feet of commercial space at grade, four residential units above and 17 onsite parking spaces. No variances are required or requested.

10. Although the Staff Committee will determine the correct legal steps, what are the actions requested. (check more than one, if applicable):

- | | |
|---|---|
| <input type="checkbox"/> Subdivision | <input checked="" type="checkbox"/> Site Plan |
| <input type="checkbox"/> C-Variance(s) | <input type="checkbox"/> Conditional Use Permit |
| <input type="checkbox"/> D-(Use) Variance | <input type="checkbox"/> Other: _____ |

11. Which variances are needed, if any? N/A

12. IF THERE HAS BEEN ANY PREVIOUS STAFF COMMITTEE OR FORMAL BOARD APPLICATION AND/OR ACTION ON THIS PROPOSAL PROPERTY, PLEASE ATTACH RELEVANT DOCUMENTS, AND PROVIDE INFORMATION HERE: N/A

Signature of Submitting Party: 

Print or Type Name: Christopher M. Baylinson, Esq. - Attorney for Applicant(s)

CHRISTOPHER M. BAYLINSON, ESQUIRE
PERSKIE MAIRONE BROG BARRERA & BAYLINSON, P.C.
Cornerstone Commerce Center
1201 New Road, Suite 204
Linwood, NJ 08221
(609) 601-1775

Attorneys for Applicant

IN THE MATTER OF THE APPLICATION) MARGATE PLANNING BOARD
OF: SAJ ASSOCIATES LLC) DISCLOSURE CERTIFICATION
Concerning Block 105, Lot 25) PURSUANT TO N.J.S.A. 40:55D-48.1

SALIM JOARDER hereby certifies the following factual information:

1. I am the sole Member of SAJ Associates LLC, which is the applicant in the above-entitled matter.
2. SAJ Associates LLC is the owner of the above-captioned property.
3. The names and addresses of all those persons owning a 10% or greater interest in and to SAJ Associates LLC is/are as follows:

Salim Joarder
335 Evesham Avenue
Lawnside, NJ 08045

There are no other persons or entities holding a 10% or greater interest in SAJ Associates LLC.

I certify that the foregoing statements made by me are true. I am aware that if any of the foregoing statements made by me are willfully false, I am subject to punishment.


Salim Joarder

DATED: February 1st, 2023



Office of the Tax Assessor
Municipal Building
9001 Winchester Ave.
Margate City, NJ 08402
P: 609-822-1950
F: 609-487-1142

RECEIVED

MAR 17 2023

PERSKIE MAIRONE BROG
BARRERA & BAYLINSON

James W. Manghan, CTA
Tax Assessor

Christopher M. Baylinson
Perskie Mairone
Brog Barrara & Baylinson
1201 New Road Ste. 201
Linwood, NJ 08221

Block: 105 Lot: 25
Location: 7800 Ventnor Ave
Date: March 14, 2023

A handwritten signature in black ink, appearing to read "James W. Manghan", is written over a horizontal line.

James W. Manghan, CTA
Tax Assessor

Your file No: 12671-3

Tax list good for 60 days per Margate City Code Book (170-5)

www.margate-nj.com

TAXING DISTRICT 16 MARGATE CITY

ADJACENT PROPERTY LISTING

APPLICANT: PMB&B
COUNTY 01 ATLANTIC

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS	
104 1 C0001	1 S DOUGLAS AVE	2	STEIN, GARY & ANNE 834 LINY LANE BALA CYNWYD, PA	19004
104 1 C0002	1 S DOUGLAS AVE	2	STEIN, SCOTT & MEREDITH 63 CAMEO DR CHERRY HILL, NJ	08003
104 1 C0003	1 S DOUGLAS AVE	2	ADLER, SHELLY LEVITAN 61 CAMEO DRIVE CHERRY HILL, NJ	08003
104 1 C0004	1 S DOUGLAS AVE	2	SCHULTZ, ANDREW J & JULIE E 912 WOOTEN RD BRYN MAWR, PA	19018
104 1 C0005	1 S DOUGLAS AVE	2	MOORE, R I & JEANETTE C 801 FOXFIELD RD AMBLER, PA	19002
104 1 C0006	1 S DOUGLAS AVE	2	REITER, MAURY B & PENNY G 303 PHEASANT HILL DRIVE BRYN MAWR, PA	19010
104 1 C0007	1 S DOUGLAS AVE	2	NESSER, L, ATLAS, O, ATLAS, M & ATLAS M 17 TILLOU RD WEST S ORANGE, NJ	07079
104 3 C0005	2 S CLERMONT AVE	2	BLATSTEIN, LEE & JANN ZWERLING- 688 CHERRYDALE DR LAFAYETTE HILL, PA	19444
104 3 C0006	2 S CLERMONT AVE	2	GOODMAN, STEVEN & ANDREA 1754 TEAROSE LANE CHERRY HILL, NJ	08003
104 3 C0007	2 S CLERMONT AVE	2	DIAMOND, BRUCE J & JANE L 2 S CLERMONT AVENUE#7 MARGATE, NJ	08402
104 3 C0008	2 S CLERMONT AVE	2	HARVEY, PHILIP 2022 WAVERLY ST PHILADELPHIA, PA	19146
105 7 C000A	20 S DOUGLAS AVE	2	PEW, WENDY 50 S 15TH ST #5004 PHILADELPHIA, PA	19102
105 7 C000B	20 S DOUGLAS AVE	2	MILLER, LAWRENCE & ROBIN 1162 DIXON LANE RYDAL, PA	19046
105 7 C000C	20 S DOUGLAS AVE	2	TAPP, DARREN J & LINDA M 1 GREEN HILL RD MADISON, NJ	07940

ADJACENT PROPERTY LISTING APPLICANT: PMB&B
TAXING DISTRICT 16 MARGATE CITY COUNTY 01 ATLANTIC

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS	
105 7 C000D	20 S DOUGLAS AVE	2	TENKMAN, GARY R & NIKKI M 49 FAIRVIEW ST HUNTINGTON, NY	11743
105 10	15-A S ESSEX AVE	4C	15 S ESSEX, LLC PO BOX 504 DREXEL, PA	19026
105 17	7 S ESSEX AVE 15	4A	7 S ESSEX AVE LLC 18 W COLMAR CIRCLE MARGATE, NJ	08402
105 20	5 S ESSEX AVE	4C	ROBERT'S PLACE, INC 7807 ATLANTIC AVE MARGATE, NJ	08402
105 24	8-10 S DOUGLAS AVE	4A	8-10 S DOUGLAS, LLC 604 N DOUGLAS AVE MARGATE, NJ	08402
105 25	7800 VENTNOR AVE 31	4A	HO, CHU H & MING M 2431 LAHN LANE MAYS LANDING, NJ	08330
105 28	7806 VENTNOR AVE L23	4A	CAPE SAVINGS BANK @OCEAN FIRST BANK PO BOX 2009 TOMS RIVER, NJ	08754
106 28	8-12 S ESSEX AVE 48	4A	DOWNBEACH PROPERTIES LLC 322 N HUNTINGTON AVENUE MARGATE, NJ	08402
204.03 3.01	2A N DELAVAN AVE	2	STEINBRECHER, DAVID & CYNTHIA 10 TARANTO LANE WEST BERLIN, NJ	08091
204.03 3.02	7721 VENTNOR AVE	2	DE ANGELO, ANTHONY S 3222 S SYDENHAM ST PHILADELPHIA, PA	19145
204.03 3.03	7723 VENTNOR AVE	2	HERSH LEGACY INVESTMENTS LLC 1343 MURDOCH RD PITTSBURGH, PA	15217
204.03 3.04	1A N DOUGLAS AVE	2	BERGQVIST, LISA 20 MOUNTAIN RD TENAFLY, NJ	07670
204.03 4	1 N DOUGLAS AVE	2	LEVIN, JACK & D & LEBRAM, S & M S 1 N DOUGLAS AVENUE MARGATE, NJ	08402
204.03 22	2 N DELAVAN AVE	2	BALDINO, ANTHONY J & REGINA 1135 TASKER STREET PHILADELPHIA, PA	19148

ADJACENT PROPERTY LISTING
 TAXING DISTRICT 16 MARGATE CITY

APPLICANT: PMB&B
 COUNTY 01 ATLANTIC

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS	
205.02 1	7801 VENTNOR AVE 1008SF	4A	7801 VENTNOR AVE LLC 8301 ATLANTIC AVE MARGATE, NJ	08402
205.02 5	7805 VENTNOR AVE 4500SF	4A	7805 VENTNOR AVENUE HOLDINGS, LLC 555 NEW JERSEY AVE ABSECON, NJ	08201
205.02 12	3 N ESSEX AVE	2	COHEN, HOWARD P & BETH A 3 N ESSEX AVE MARGATE, NJ	08402
205.02 34	2 N DOUGLAS AVE	2	CINQUINO, ANTHONY, CRISTINA, & MARLENE 3 NAOMI LANE CHALFONT, PA	18914
206.02 1	7817 VENTNOR AVE 4097 SF	4A	7817 VENTNOR AVE LLC 273 PARK STREET MONTCLAIR, NJ	07043
206.02 2	7811 VENTNOR AVE	2	J. BANK BUSTER TRUST @DEFABRIZIO, R 880 E VAUGHN AVE GILBERT, AZ	85234
206.02 3	7809 VENTNOR AVE 2574 SQ	4A	KAPUSTIN, SHELLEY 7809 VENTNOR AVENUE MARGATE, NJ	08402
206.02 4	7807 VENTNOR AVE	4A	MARINA MMMM, LLC 7807 VENTNOR AVENUE MARGATE, NJ	08402
206.02 8	4 N ESSEX AVE L, 11	2	4 N ESSEX AVE LLC 149 CRYSTAL LAKE DRIVE EGG HARBOR TWSP, NJ	08234

CONDO ASSOCIATIONS TO BE NOTIFIED WITH TAXLIST

BEACH HOUSE CONDO ASSOCIATION
HAWKEYE PROPERTY MANAGEMENT
PO BOX 3182
MARGATE, NJ 08402
BLOCK: 102 LOT: 2

UTILITIES TO BE NOTIFIED WITH TAXLIST

ATLANTIC CITY ELECTRIC
5100 HARDING HIGHWAY, SUITE 399
MAYS LANDING, NJ 08330

SOUTH JERSEY GAS COMPANY
VP CONSTRUCTION
1 SOUTH JERSEY PLAZA, RT. 54
FOLSOM, NJ 08037

COMCAST CABLE, GREG SMITH, PM
901 LEEDS AVENUE
ABSECON, NJ 08201

ATLANTIC COUNTY PLANNING BOARD
RT 9 & DOLPHIN RD
PO BOX 719
NORTHFIELD, NJ 08225

ITEMS PRINTED.....42

RECEIVED

JAN 30 2023



REVENUE and FINANCE DEPARTMENT PERSKIE MAIRONE BROG
BARRERA & BAYLINSON

Office of the Tax Collector
City of Margate City
9001 Winchester Avenue
Margate City, New Jersey 08402
609-822-2508

Date: 1/27/23

To Whom It May Concern:

I HEREBY CERTIFY THAT the TAX for 1st Qtr. 2023.

And the WATER & SEWER for 2022

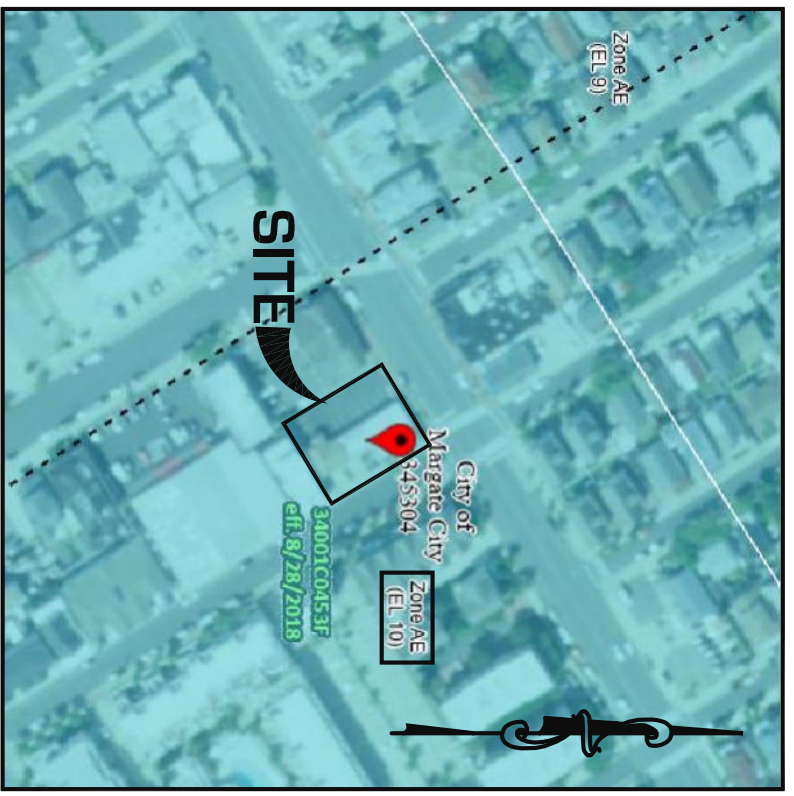
Are paid on property located 7800 Ventnor Ave.

Assessed to Ming M & Chu H. Ho

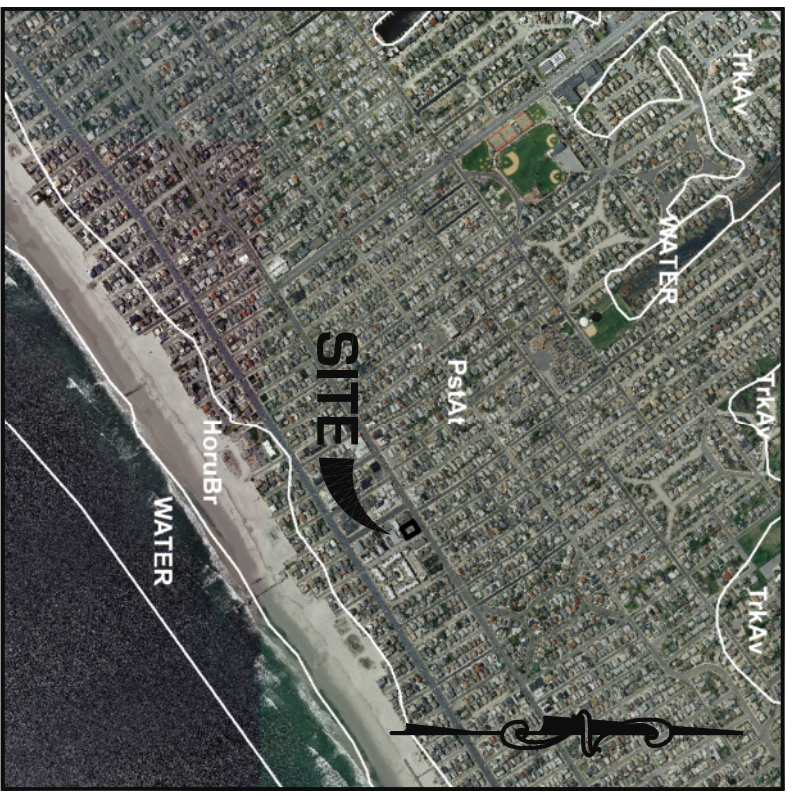
And designated as
BLOCK 105, LOT 25; Tax Map of Margate City, N.J.

Tara J Mazza, CTC
Tax Collector

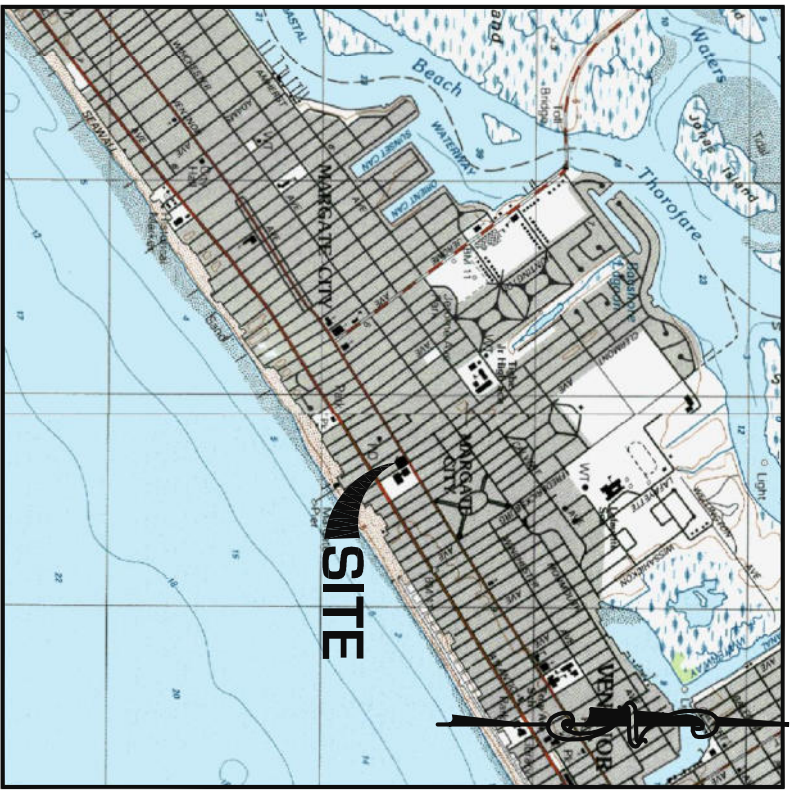
Per LH



FEMA FIRPM MAP
NOT TO SCALE



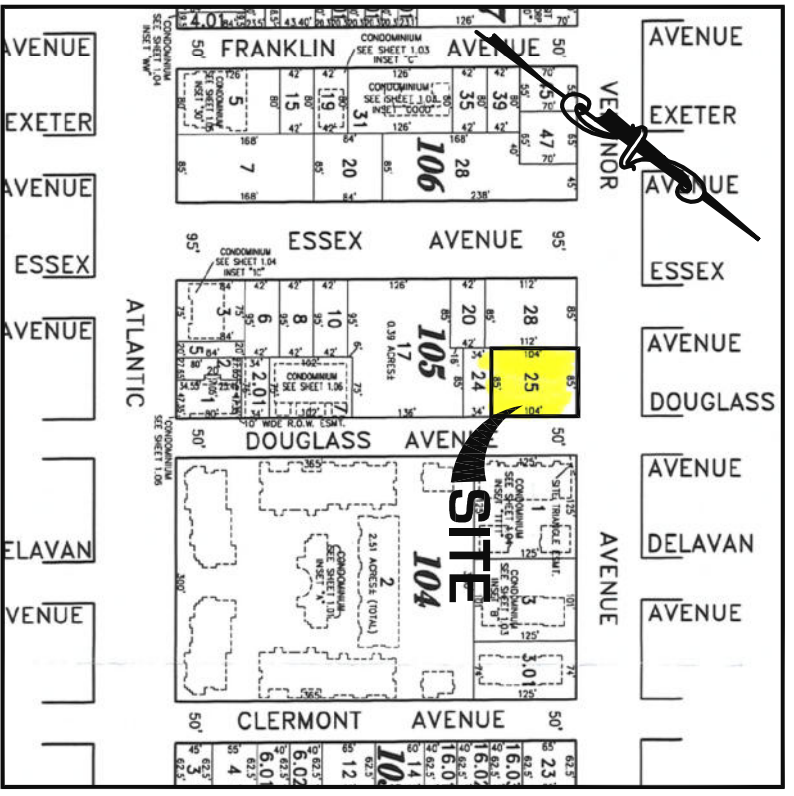
SOILS MAP
SCALE: 1"=1000'



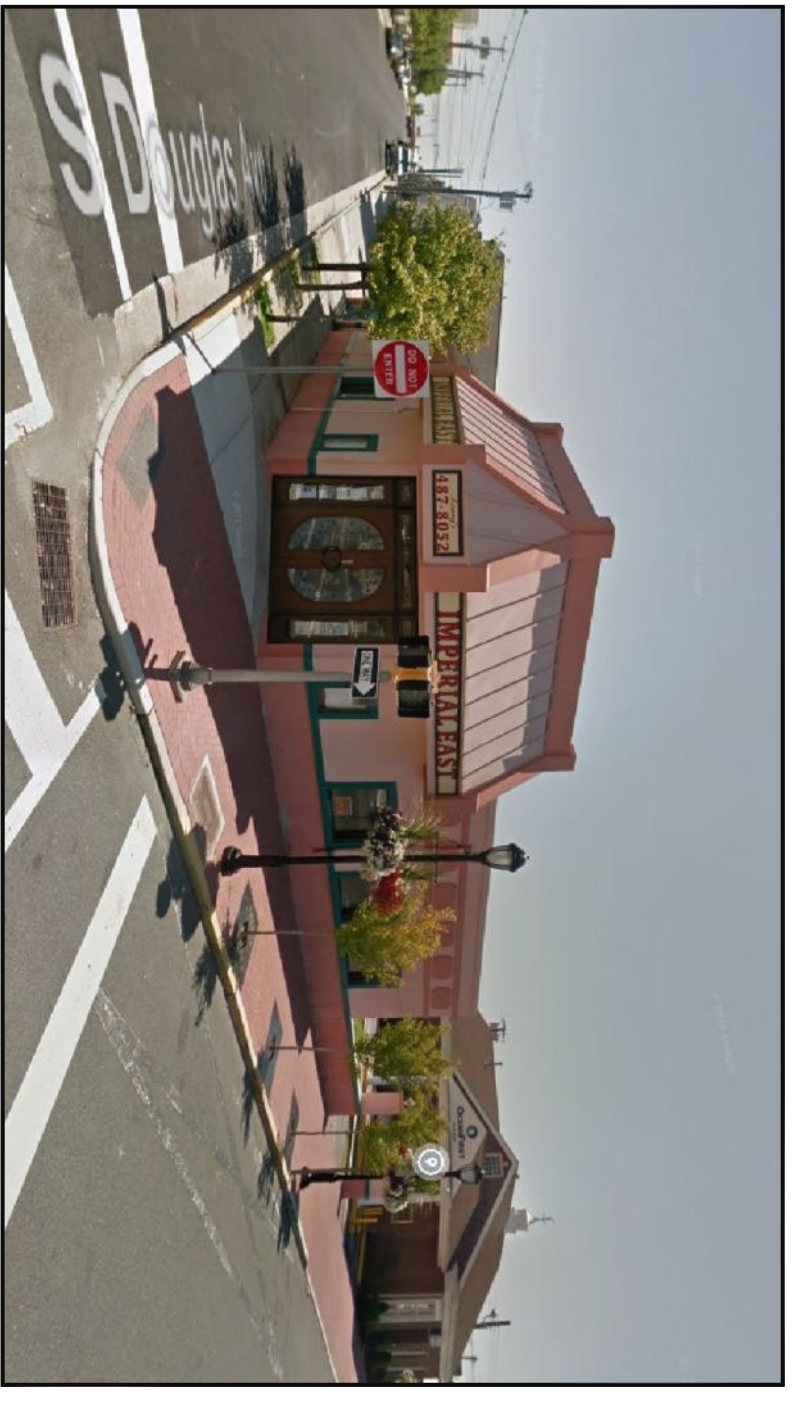
QUAD MAP
SCALE: 1"=4,000'



ZONING MAP
NOT TO SCALE



TAX MAP
NOT TO SCALE



SITE PHOTO

OWNERS WITHIN 200 FEET:

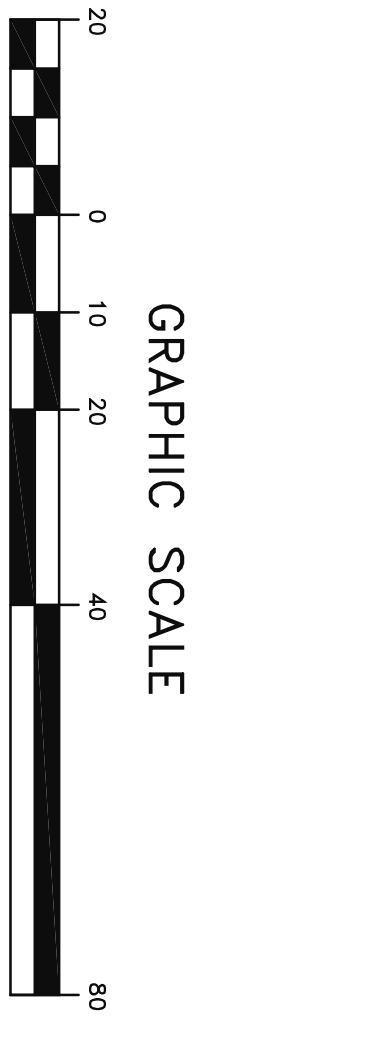
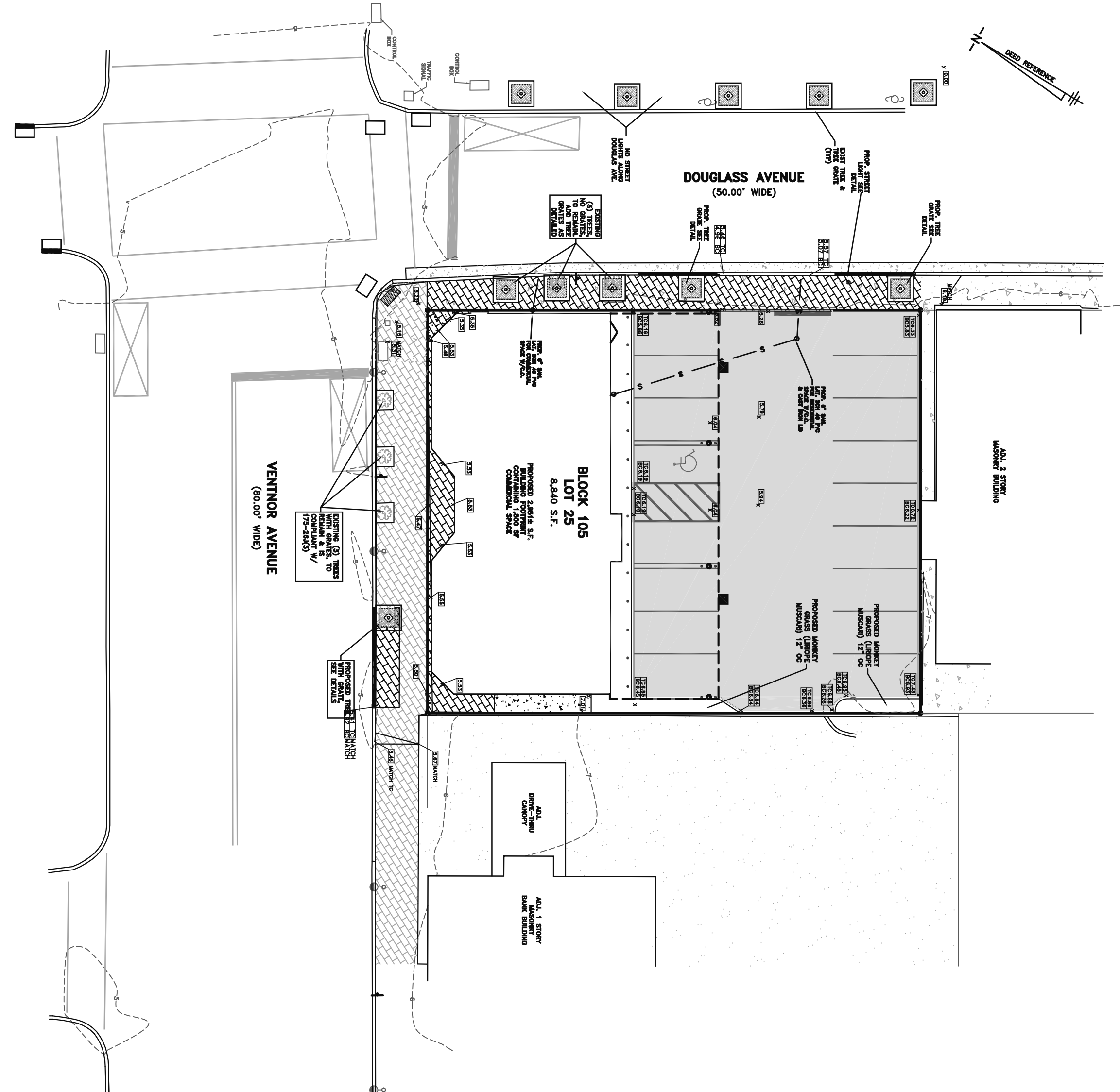
TAXING DISTRICT	PARCELS	ADDRESS	OWNER
16	104	834 LINDEN AVE	SPIN, CAR & HOME
16	103	834 LINDEN AVE	SPIN, CAR & HOME
16	102	834 LINDEN AVE	SPIN, CAR & HOME
16	101	834 LINDEN AVE	SPIN, CAR & HOME
16	100	834 LINDEN AVE	SPIN, CAR & HOME
16	99	834 LINDEN AVE	SPIN, CAR & HOME
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16	6	834 LINDEN AVE	SPIN, CAR & HOME
16	5	834 LINDEN AVE	SPIN, CAR & HOME
16	4	834 LINDEN AVE	SPIN, CAR & HOME
16	3	834 LINDEN AVE	SPIN, CAR & HOME
16	2	834 LINDEN AVE	SPIN, CAR & HOME
16	1	834 LINDEN AVE	SPIN, CAR & HOME

PROPOSED SITE PLAN FOR:

7800 VENTNOR AVENUE, BLOCK 105, LOT 25

CITY OF MARGATE, ATLANTIC COUNTY, NEW JERSEY

ZONE: CBD - CENTRAL BUSINESS; TAX MAP SHEET #1



- GENERAL NOTES:
- OWNER/APPLICANT: LEO ROSSNER, 160 ROSSNER CAPE MAY COURT HOUSE, NJ 08210
 - THE SCOPE OF THIS PROJECT IS TO DEMOLISH THE EXISTING BUILDING AND CONSTRUCT A NEW BUILDING FOR A COMMERCIAL USE ON THE GROUND FLOOR AND MULTIPLE RESIDENTIAL UNITS ON THE FLOORS ABOVE.
 - THE SITE IS LOCATED IN THE "CBD" CENTRAL BUSINESS ZONE.
 - TOTAL TRACT AREA: 8,840 S.F.
 - COORDINATE SYSTEM BASED ON NAD 83 HORIZONTAL DATUM.
 - TOPOGRAPHY BASED ON NAVD 88 VERTICAL DATUM, AS REFERENCED ON THE SURVEY BY SCHAEFFER NASSAR SCHEIDEGG CONSULTING ENGINEERS, LLC, DATED 1-10-23, SIGNED BY HOWARD TRANSUE, PLS.
 - CONTRACTOR IS TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES BEFORE COMMENCING WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE, CLEANUP AND SECURITY OF ALL UTILITIES DURING CONSTRUCTION, UPON ACCEPTANCE OF ALL SITE IMPROVEMENTS, OWNER SHALL ASSUME RESPONSIBILITY.
 - ELECTRIC, TELEPHONE, CABLE, TV, GAS, PUBLIC WATER AND PUBLIC SEWER SERVICES ARE EXISTING AND WILL BE UTILIZED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS, CODES, SPECIFICATIONS, AND ALL APPLICABLE ORDINANCES.
 - ALL SIGNS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - THIS SITE IS LOCATED IN FEMA FLOOD ZONE AE (1) PER FEMA FIRM PANEL 34007C0453F, EFFECTIVE 8-28-18.
 - ALL OF THE EXISTING SIDEWALK FRONTING THE SITE ON BOTH STREET FRONTS NEED REPLACEMENT WITH A TRANSITION FROM A COMPLAINT CROSS SLOPE TO THE EXISTING CROSS SLOPES JUST BEYOND THE SITE BOUNDARY.

SHEET INDEX CHART

- COVER SHEET
- EXISTING CONDITIONS PLAN
- SITE PLAN
- LANDSCAPE & LIGHTING PLAN
- SOIL EROSION & SEDIMENT CONTROL PLAN
- SOIL EROSION NARRATIVE

ATLANTIC COUNTY APPROVALS

OFFICE OF POLICY PLANNING & ECONOMIC DEVELOPMENT

SECTION REVIEW	<input type="checkbox"/>	DATE	REVISIONS	FILE NO.
SITE PLAN REVIEW	<input type="checkbox"/>	REMOVED		

DATE	BY	REVISIONS	DATE OF REVIEW	SIGNATURE

REV #	DATE	BY	REVISION DESCRIPTION

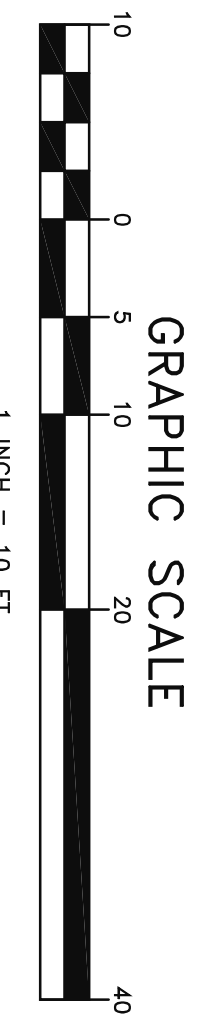
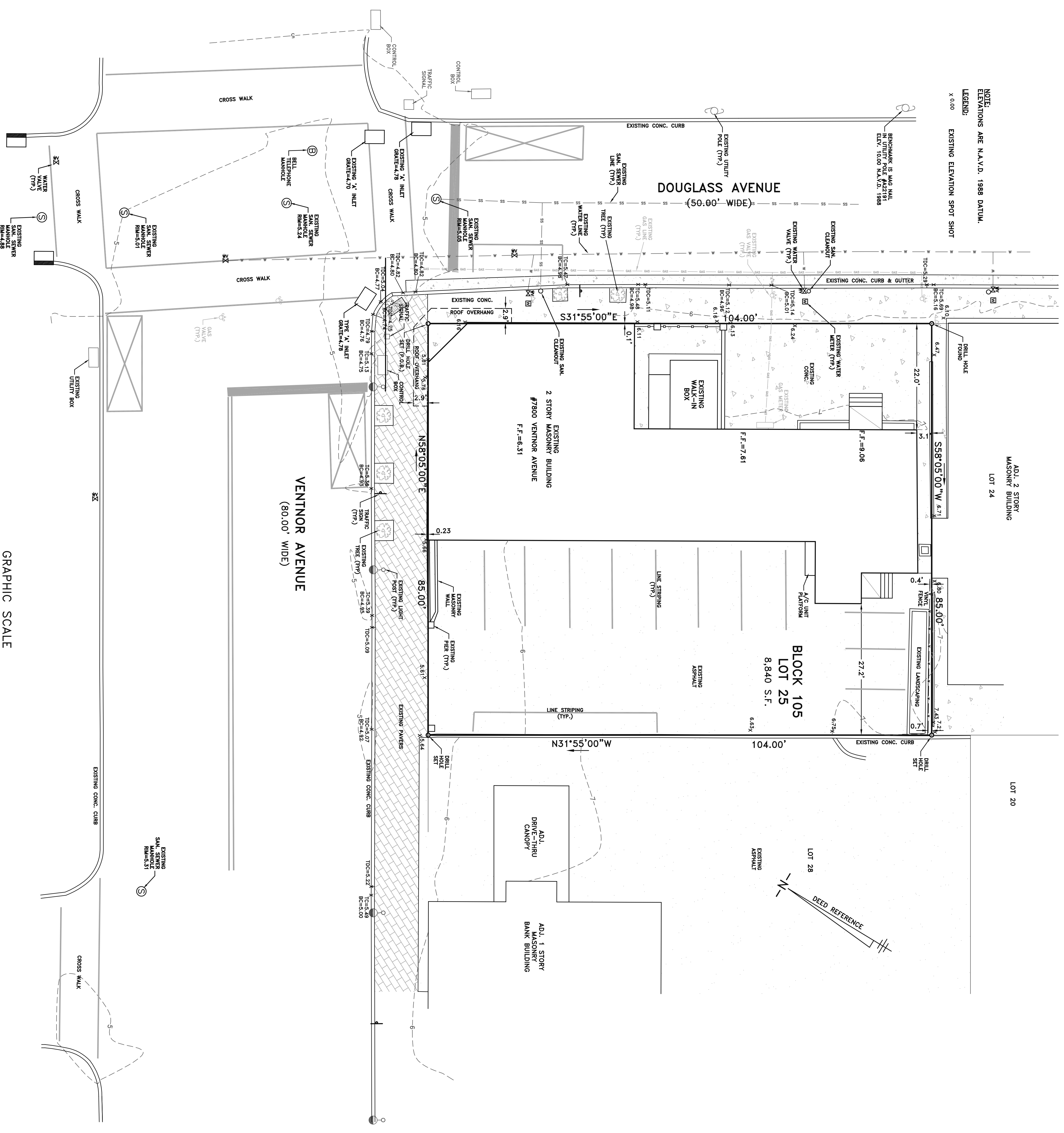
DATE: 3-2-23
SCALE: 1"=10'
BY: B.G.
CHECKED: A.F.S.
SHEET NO: 1 OF 4

COVER SHEET FOR:
LEE ROSSNER
7800 VENTNOR AVENUE, BLOCK 105, LOT 25
CITY OF MARGATE, ATLANTIC COUNTY, NEW JERSEY
ZONE: CBD - CENTRAL BUSINESS; TAX MAP SHEET #1

ANDREW F. SCHAEFFER
PROFESSIONAL ENGINEER
[Signature]
NEW JERSEY LIC. NO. 32883
3-2-23
DATE

Schaeffer Nassar Scheidegg
CONSULTING ENGINEERS, LLC
Surveyors • Environmentalists • Planners
1425 Cantillon Boulevard • Mays Landing • New Jersey
Telephone: (609) 625-7400 • Fax: (609) 909-0253
Certificate of Authorization #24GA28103800

NOTE:
ELEVATIONS ARE N.A.V.D. 1988 DATUM.
X 0.00
LEGEND:
EXISTING ELEVATION SPOT SHOT



THIS DOCUMENT AND THE DATA AND DESIGN THEREON ARE THE PROPERTY OF HOWARD A. TRANSUE SURVEYORS AND ENGINEERS, L.L.C. AND SHALL REMAIN THE PROPERTY OF HOWARD A. TRANSUE SURVEYORS AND ENGINEERS, L.L.C. UNLESS OTHERWISE SPECIFIED. THE USER OF THIS DOCUMENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

REV #	DATE	BY	REVISION DESCRIPTION

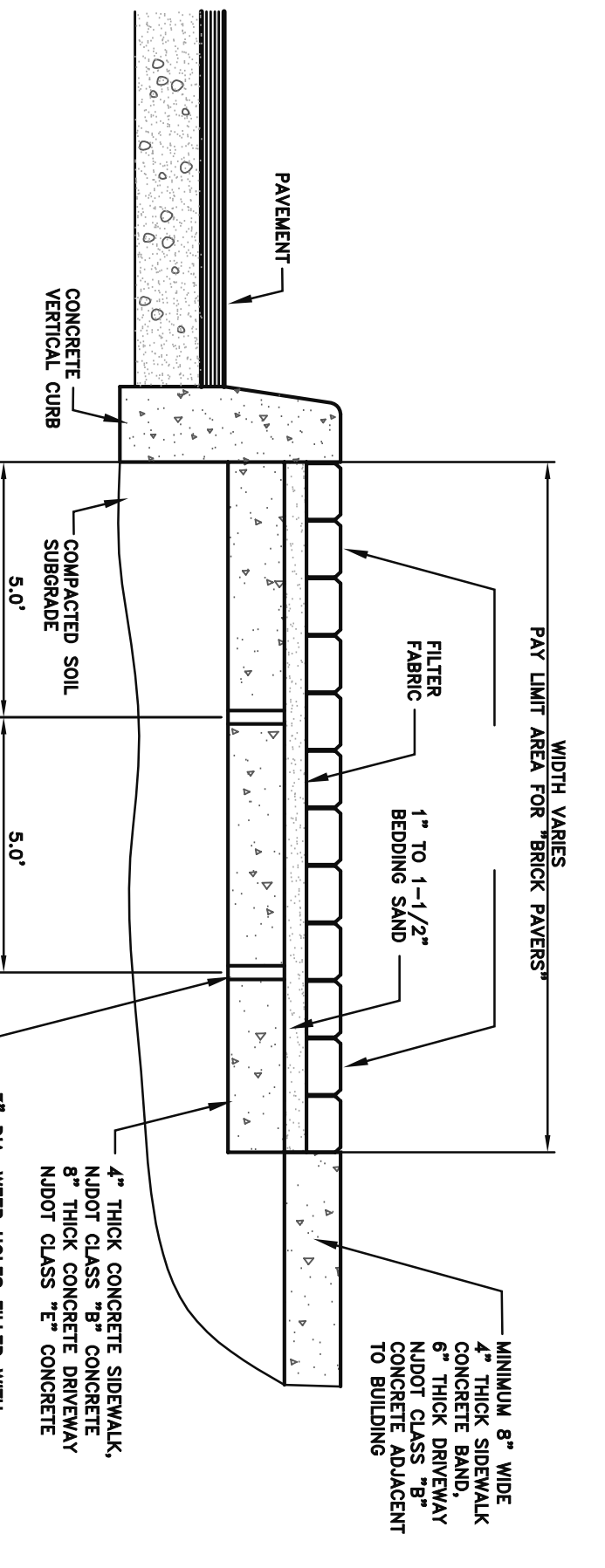
DATE: 1-28-23
SCALE: 1"=10'
BY: MALE
CHECKED: H.A.T.
SHEET NO. 2
2 OF 4

SURVEY OF PROPERTY FOR
LEE ROSSNER
7800 VENTNOR AVENUE, BLOCK 105, LOT 25
CITY OF MARGATE, ATLANTIC COUNTY, NEW JERSEY
ZONE: CBD - CENTRAL BUSINESS; TAX MAP SHEET #1

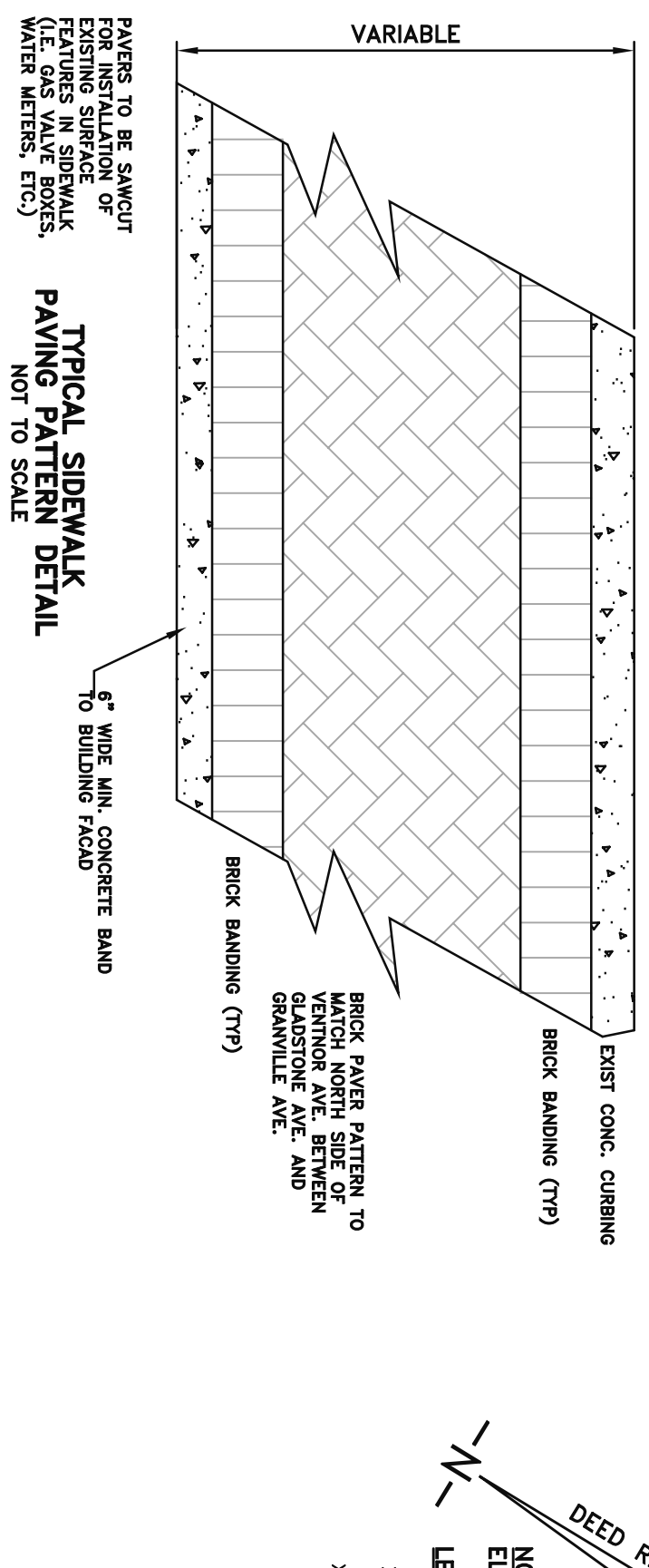
HOWARD A. TRANSUE
PROFESSIONAL LAND SURVEYOR
H.A.T.
NEW JERSEY LIC. NO. 33541
1-28-23
DATE



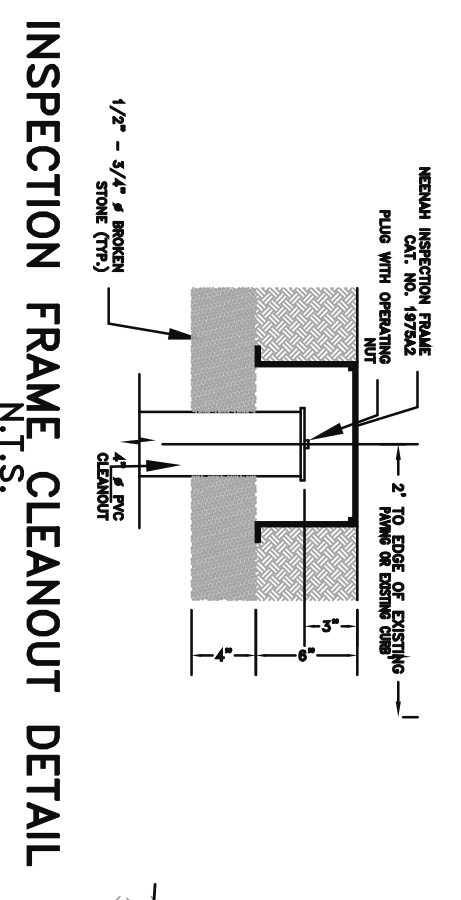
Schaeffer Nassar Scheidegg
CONSULTING ENGINEERS, LLC
Surveyors • Environmentalists • Planners
1425 Cantillon Boulevard • Mays Landing • New Jersey
Telephone: (609) 625-7400 • Fax: (609) 909-0253
Certificate of Authorization #24GA28103800



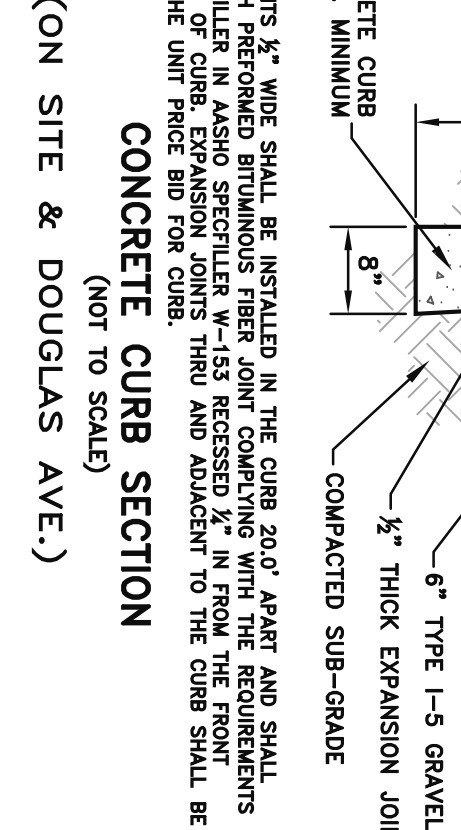
NOTES:
 1. PAVERS SHALL BE MAINTAINED AT A MINIMUM OF 1/2" FROM FRONT FACE AND TOP OF CURB.
 2. PAVEMENT SHALL BE MAINTAINED PARALLEL TO VENTNOR AVENUE.
 3. 3" DIA. VEE HOLES FILLED WITH CHASTISED STONE, SPACED 20" O.C. (TYP.)



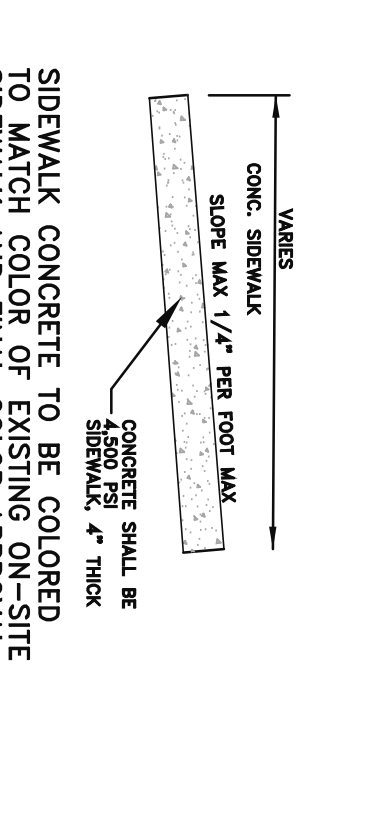
BRICK PAYER SIDEWALK/CONCRETE SIDEWALK DETAIL



INSPECTION FRAME CLEANOUT DETAIL



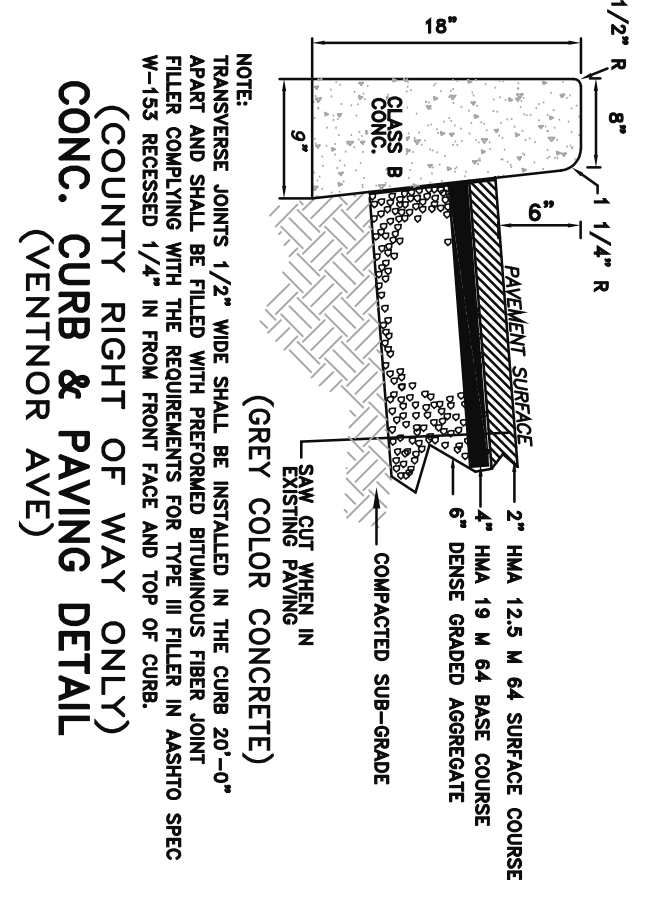
CONCRETE CURB SECTION



ON-SITE SIDEWALK DETAIL

TYPICAL LATERAL CONNECTION

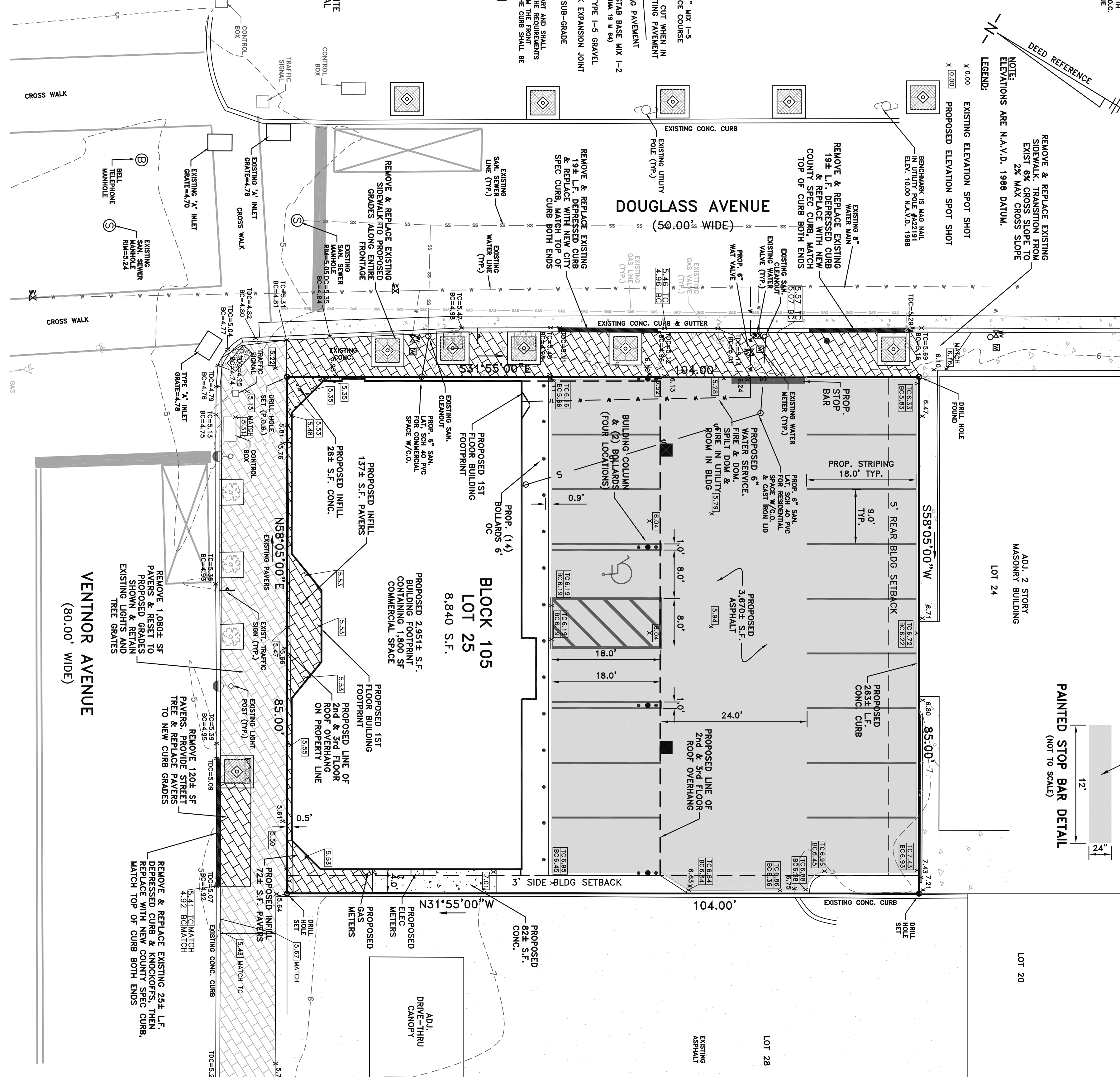
GRADING NOTES:
 1) ALL PROPOSED BUILDING DOWNSPOUTS TO BE DIRECTED TO THE PROPOSED DRIVEWAY WHICH WILL TURN DIRECT RUNOFF TO DOUGLASS AVE. WHICH IS THE CURRENT CONDITION.
 2) THE OVERALL DISCHARGE OF STORM WATER TO VENTNOR AVE. WILL BE DECREASED POST-DEVELOPED CONDITION DUE TO THE REDUCTION OF IMPERVIOUS COVERAGE FROM 99.1% TO 96.7%
 3) THE OWNER OF OR HIS REPRESENTATIVE IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY, DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21(6) FOR THE NEW JERSEY UNIFORM CONSTRUCTION CODE AND C.F.R. 1926(f) (OSHA COMPETENT PERSON).
 4) NO UTILITIES WILL BE EXTENDED FROM VENTNOR AVE.
 5) ALL RESTORATIVE WORK TO DOUGLASS AVE PAVING & SIDEWALKS TO COMPLY WITH CITY CODE SECT. 242.



CONC. CURB & PAVING DETAIL

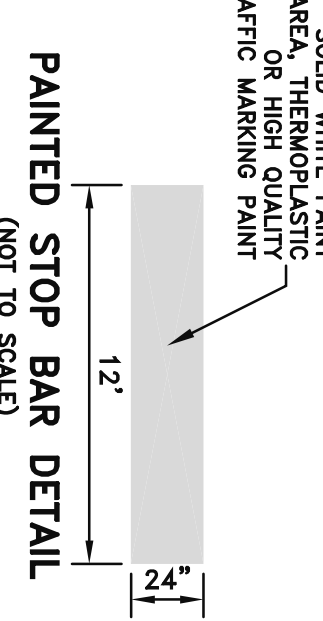
NOTE: TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20"-4" FROM FRONT FACE AND TOP OF CURB. (COUNTY RIGHT OF WAY ONLY) (VENTNOR AVE)

REMOVE & REPLACE EXISTING SIDEWALK TRANSITION FROM EXIST. 6% CROSS SLOPE TO PROPOSED 2% MAX CROSS SLOPE. ELEVATIONS ARE N.A.V.D. 1988 DATUM.



PARKING REQUIREMENTS:

- 3. OR MORE, BEDROOM GARDEN APT: 2.1 SPACES / DU (85%)
- THAT THEREFORE, FOR (4) DWELLINGS, 8.4 SPACES REQUIRED
- (8) 9' X 18' PARKING SPACES ARE PROPOSED FOR THE RESIDENTIAL ELEMENT OF THIS PROJECT. (9) SPACES ARE PROVIDED FOR COMMERCIAL USE.
- 1,800 SF OF COMMERCIAL SPACE REQUIRES 1 PARKING SPACE / 200 SF. THEREFORE, 9 PARKING SPACES ARE REQUIRED FOR THE COMMERCIAL USE.
- TOTAL OF (17) SPACES REQUIRED ON SITE.



PAINTED STOP BAR DETAIL

CBD ZONE REQUIREMENTS

ITEM	REQUIRED	PROPOSED	STATUS
MINIMUM LOT AREA	4,000 SF	8,940 SF	CONFORMING
MINIMUM LOT WIDTH	50 FT	85 FT	CONFORMING
MINIMUM LOT DEPTH	N/A	104 FT	CONFORMING
MINIMUM FRONT YARD SETBACK	0 FT	0.3 FT	CONFORMING
MINIMUM SIDE YARD SETBACK	0 FT	0.5 FT	CONFORMING
MINIMUM REAR YARD SETBACK	5 FT	45 FT	CONFORMING
MINIMUM BUILDING HEIGHT	10 FT	4 FT	CONFORMING
MINIMUM COMBINED SIDE YARD SETBACK	10 FT	34 FT	CONFORMING
MAX. BUILDING COVERAGE	80%	95.8%	CONFORMING
MAX. IMPERVIOUS COVERAGE	N/A	96.7%	CONFORMING
MAX. DENSITY	18.8 DU/AC	19.1 DU/AC	CONFORMING
MAX. RESIDENTIAL UNIT DENSITY	55.88 (14,930 SF)	55.88 (14,930 SF)	CONFORMING
LAND USE	RESIDENTIAL COMMERCIAL	RESIDENTIAL COMMERCIAL	CONFORMING
ON-SITE PARKING SPACES	17	17	CONFORMING

* TOTAL PROPOSED IMPERVIOUS COVERAGE IS REDUCED FROM 100% TO 96.7%.

SEWER & WATER REPORT:

SANITARY SEWER: THIS PROJECT IS PROPOSED TO BE SERVICED BY EXISTING SANITARY SEWER DEWASH. (PER N.J.A.C. 17:14-23(c))
 (a) THREE OR MORE BEDROOM DWELLINGS
 ● 300 GPD / DWELLING = 1,200 GPD
 (1,800 SF) COMMERCIAL SPACE
 ● 0.10 GPD / SF = 180 GPD
 TOTAL PROJECTED SEWAGE FLOW = 1,380 GPD
 TOTAL PROJECTED WATER DEMAND = 1,380 GPD
 EXISTING WATER MAIN IS PROPOSED TO BE SERVICED BY EXISTING WATER MAIN. FIRE WATER FLOW FOR FIRE SUPPRESSION VIA EXISTING MAIN IN SOUTH DOUGLASS AVE VIA A PROPOSED FOUR INCH DIA. PIPE CONNECTED TO THE EXISTING MAIN

COUNTY IMPROVEMENT NOTES:

1) THERE ARE NO PROPOSED LANE PAINT / OR OTHER TRAFFIC CONTROL STRIPING PAVERS TO BE REQUESTED FOR THIS PROJECT.
 2) WE ARE REQUESTING A WAIVER FROM PROVIDING STORM WATER MANAGEMENT CALCULATIONS SINCE THERE IS A NET DECREASE IN IMPERVIOUS SITE COVERAGE IN THE POST-DEVELOPED CONDITION. THE PROPOSED IMPROVEMENTS WILL BE LIMITED TO THE EXISTING DRIVEWAY APRON TO VENTNOR AVE.
 3) THERE ARE NO PROPOSED UTILITY CONNECTIONS PROPOSED IN VENTNOR AVE.
 4) WE ARE REQUESTING A WAIVER FROM THE COUNTY SPEC FOR IMPROVEMENTS IN ORDER TO MAINTAIN EXISTING SIDEWALKS IN CONFORMANCE WITH THE CITY ORDINANCES. WE NOTE THAT THE CITY REQUIRED US TO MATCH THE SIDEWALK LOCATED DIRECTLY ACROSS VENTNOR.
 5) NO UTILITY POLES ARE REQUIRED TO BE RELOCATED FOR THIS PROJECT IN COUNTY ROW.

OTHER AGENCIES APPROVALS:

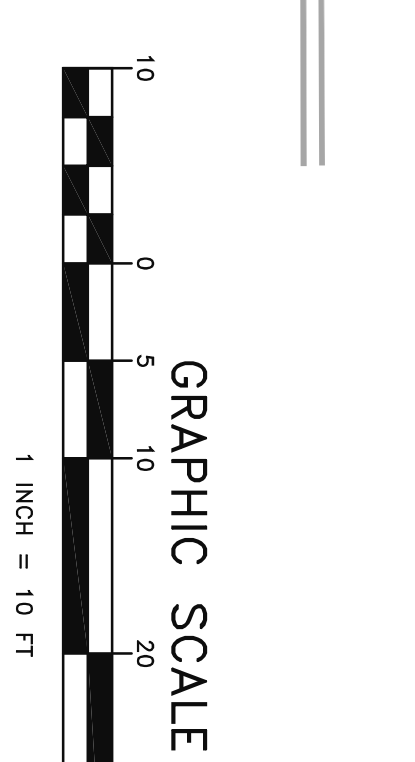
- ATLANTIC COUNTY PLANNING
- WARRANT CITY WATER AND SEWER
- CITY OF ATLANTIC COUNTY CONSERVATION CERTIFICATION
- WARRANT CITY SIGNING SEPT.

MODIFICATION REPORT / REQUESTED WAIVERS:

VARIANCES: NONE REQUESTED OR REQUESTED
 CHECKLIST WAIVERS, MAJOR SITE PLAN:
 1) APP. A, ITEM 6 - WATER TO ALLOW ONE SITE PHOTO WHERE FOUR ARE REQUIRED.
 2) ITEM 7 - WATER FROM SHOWING WATER COURSES WITHIN 50 FEET.
 3) ITEM 8 - WATER FROM PROVIDING LOCATION OF BUILDINGS WITHIN 200 FEET.
 4) ITEM 9 - WATER FROM PROVIDING LOCATION OF BUILDINGS WITHIN 200 FEET.
 5) ITEM 10 - WATER FROM PROVIDING LOCATION OF BUILDINGS WITHIN 200 FEET.
 6) ITEM 11 - WATER FROM PROVIDING LOCATION OF BUILDINGS WITHIN 200 FEET.
 7) ITEM 12 - WATER FROM PROVIDING LOCATION OF BUILDINGS WITHIN 200 FEET.
 8) ITEM 13 - WATER FROM PROVIDING LOCATION OF BUILDINGS WITHIN 200 FEET.
 9) ITEM 14 - WATER FROM PROVIDING LOCATION OF BUILDINGS WITHIN 200 FEET.
 10) ITEM 15 - WATER FROM PROVIDING LOCATION OF BUILDINGS WITHIN 200 FEET.
 11) ITEM 16 - WATER FROM PROVIDING LOCATION OF BUILDINGS WITHIN 200 FEET.
 12) ITEM 17 - WATER FROM PROVIDING LOCATION OF BUILDINGS WITHIN 200 FEET.
 13) ITEM 18 - WATER FROM PROVIDING LOCATION OF BUILDINGS WITHIN 200 FEET.
 14) ITEM 19 - WATER FROM PROVIDING LOCATION OF BUILDINGS WITHIN 200 FEET.
 15) ITEM 20 - WATER FROM PROVIDING LOCATION OF BUILDINGS WITHIN 200 FEET.
 16) ITEM 21 - WATER FROM PROVIDING LOCATION OF BUILDINGS WITHIN 200 FEET.
 17) ITEM 22 - WATER FROM PROVIDING LOCATION OF BUILDINGS WITHIN 200 FEET.
 18) ITEM 23 - WATER FROM PROVIDING LOCATION OF BUILDINGS WITHIN 200 FEET.
 19) ITEM 24 - WATER FROM PROVIDING LOCATION OF BUILDINGS WITHIN 200 FEET.
 20) ITEM 25 - WATER FROM PROVIDING LOCATION OF BUILDINGS WITHIN 200 FEET.

IMPERVIOUS COVERAGE SCHEDULE

EXISTING:	PROPOSED:
8,761 SF PAVING & BLDG (99.1%)	356 SF CONC & PAVERS (244 UNDER ROOF OVERHANG)
	3,670 SF PAVING (160 UNDER ROOF)
	4,930 SF ROOF
	8,552 SF TOTAL IMPERVIOUS (96.7%)



REVISION DESCRIPTION

REV #	DATE	BY

DATE: 3-6-23
 SCALE: 1"=10'
 BY: B.G.
 CHECKED: A.T.S.
 SHEET NO. 3
 3 OF 4
 FILE# 22-471

SITE PLAN FOR LEE ROSSNER
 7800 VENTNOR AVENUE, BLOCK 105, LOT 25
 CITY OF MARGATE, ATLANTIC COUNTY, NEW JERSEY
 ZONE: CBD - CENTRAL BUSINESS; TAX MAP SHEET # 31

ANDREW F. SCHAEFFER
 PROFESSIONAL ENGINEER

 NEW JERSEY LIC. NO. 32883
 3-2-23
 DATE

Schaeffer Nassar Scheidegg
 CONSULTING ENGINEERS, LLC
 Surveyors • Environmentalists • Planners
 1425 Cantillon Boulevard • Mays Landing • New Jersey
 Telephone: (609) 625-7400 • Fax: (609) 909-0253
 Certificate of Authorization #24GA28103800

MULCH ANCHORING

- MULCH ANCHORING - SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR FLOWING MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA AND STEEPNESS OF SLOPES.
 - FOR SLOPES LESS THAN 10% IN ALL DIRECTIONS, STAKES MAY BE DRIVEN BEFORE OR AFTER MULCH IS PLACED. STAKES SHOULD BE PLACED AT 3' TO 4' INTERVALS ALONG EACH SIDE OF THE AREA TO BE MULCHED. STAKES SHOULD BE PLACED AT 3' TO 4' INTERVALS ALONG EACH SIDE OF THE AREA TO BE MULCHED.
 - WHICH NETTING IS STAKE PAPER, COTTON, OR PLASTIC NETTING WHICH USES 4 FEET WIDE AND UP TO 300 FEET LONG.
 - ANCHORING MULCH TO THE SOIL SURFACE - A TRACTOR-DRAWN IMPLEMENT SPECIALLY DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE. THIS PRACTICE IS ONLY TO BE USED ON SLOPES LESS THAN 10% AND ON SLOPING LAND. THE OPERATION SHOULD BE ON THE CONTOUR.
 - LIQUID MULCH-BINDERS
 - APPLICATIONS SHOULD BE HEAVY AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.
 - USE ONE OF THE FOLLOWING:
 - ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS THAT MIXED WITH WATER FORMULATES A GEL WHICH BINDS MULCH TO THE SOIL SURFACE. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOLOGIC EFFECT OR WEED GROWTH OF TORNADOES. RESISTIBLE BY THE MANUFACTURER.
 - SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MIXABLE WITH WATER AND APPLIED TO MULCH. THIS TYPE OF BINDERS IS NOT TO BE USED ON SLOPES LESS THAN 10% AND ON SLOPING LAND. THE OPERATION SHOULD BE ON THE CONTOUR. NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES NOT LESS THAN 100 P.S.F. OR A DEPTH OF 6".

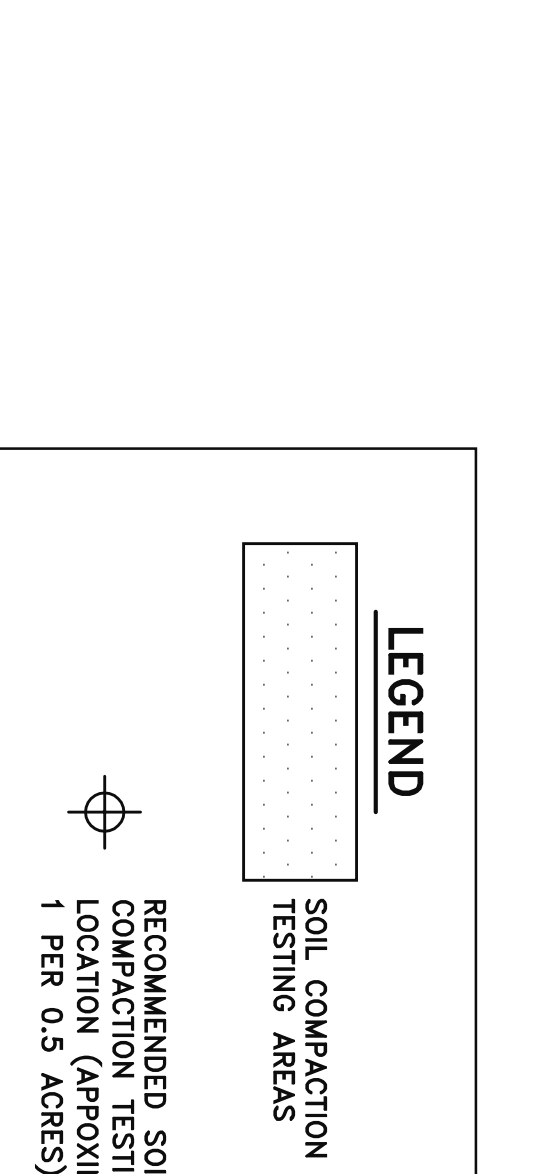
GENERAL SOIL EROSION NOTES:

- RECEIVING A CERTIFICATE OF OCCUPANCY FROM THE MUNICIPALITY, A REQUEST FOR A DISTRICT INSPECTION FOR THE RELEASE OF A REPORT OF COMPLIANCE MUST BE MADE 5-WORKING DAYS IN ADVANCE. THIS APPLIES BOTH TO COMPLETE (FINAL) AND CONDITIONAL (TEMPORARY) CERTIFICATES.
- RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
- THE STORM WATER BASIN MUST BE CONSTRUCTED AND PERMANENTLY STABILIZED PRIOR TO THE ESTABLISHMENT OF IMPERVIOUS SURFACES.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORM WATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- REMOVE ANY SEDIMENT THAT MAY BE SPILLED, DROPPED OR TRACKED TO THE PROJECT SITE. ALL RAVED RIGHT-OF-WAYS ADJACENT TO THE PROJECT SITE SHALL BE MAINTAINED IN A CLEAN, SHEET CONDITION THROUGHOUT CONSTRUCTION.
- THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED AS DIRECTED BY THE DISTRICT INSPECTOR. IN ACCORDANCE WITH THE "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY", 7TH EDITION, JANUARY 2014, REVISED JULY 2017.

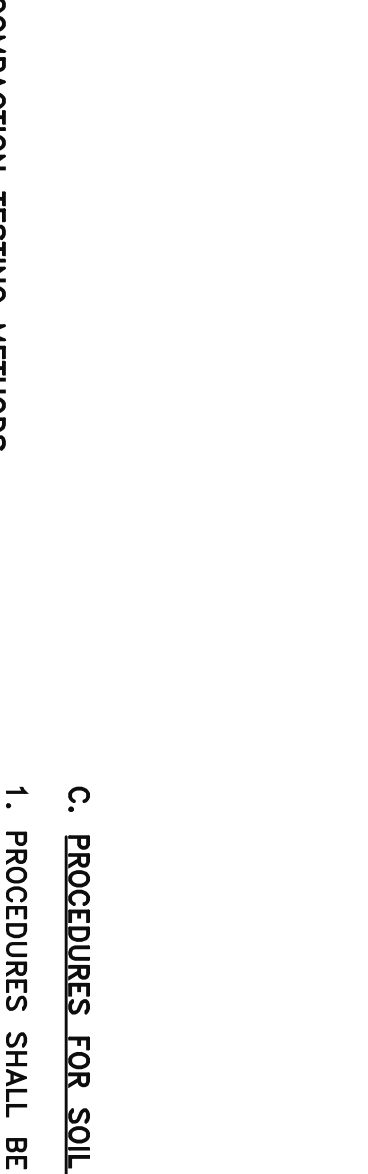
DUST CONTROL MEASURES:

- INSTALLATION OF SILT FENCING AROUND THE SITE AS SHOWN ON PLAN AND SPECIFICATIONS. SILT FENCING SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE REPAIRED IMMEDIATELY IF DAMAGED.
- THE SITE AND SURROUNDING AREAS SHALL BE KEPT MOIST THROUGHOUT CONSTRUCTION. WATERING SHALL BE PERFORMED AT LEAST ONCE PER DAY. THE USE OF WETTING PROCEDURES IS ALSO A RECOMMENDED METHOD OF REDUCING DUST BLOWING.

PROBING WIRE TEST (SURVEY FLAG)



HANDHELD SOIL PENETROMETER TEST

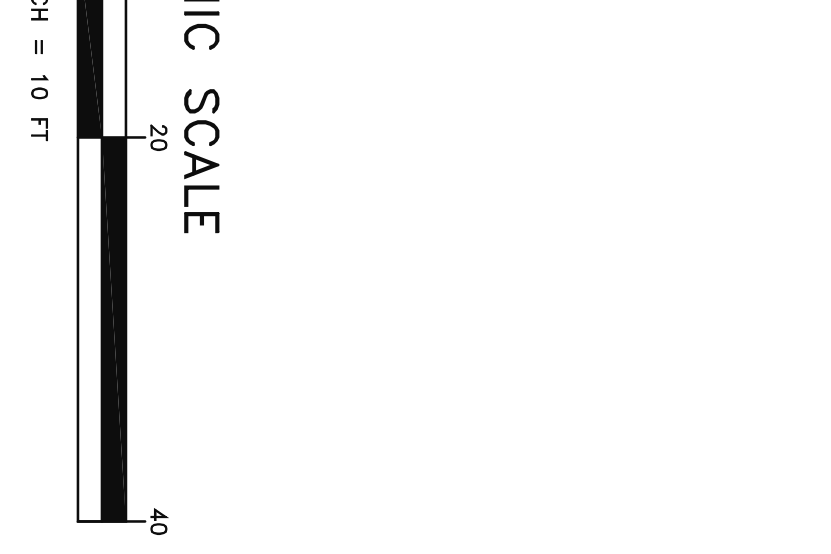
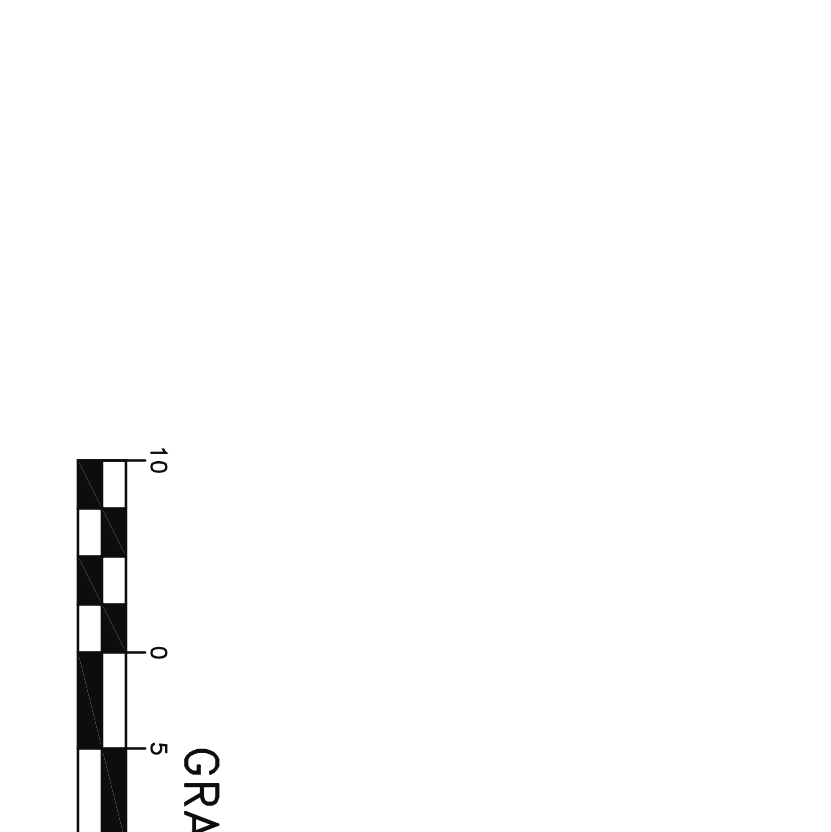


SOIL DE-COMPACTION AND TESTING REQUIREMENTS:

- SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GEOMATICALLY DENOIED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
- COMPACTION TESTING LOCATIONS ARE DENOIED ON THE PLAN. LOCATIONS IDS SHALL BE USED TO COMPLETE THE COMPACTION REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL EROSION CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
- IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF 10% HAS OCCURRED, THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO REFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOIED ON THIS PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

- PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES. CHANNELS, DRAINAGE SYSTEMS, ETC.) IN THE ALTERNATIVE, AN APPROVED METHOD AS SPECIFIED BY A LICENSED PROFESSIONAL ENGINEER MAYBE SUBSTITUTED SUBJECT TO THE DISTRICT APPROVAL.
- NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL REQUIRED)
- NOTE: ADDITIONAL TESTING METHODS WHICH SPECIFICATIONS, WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.
- DETAILED REQUIREMENTS FOR EACH COMPACTION TESTING METHOD CAN BE FOUND IN SECTION 19 "STANDARDS FOR LAND GRADING AND SEDIMENT CONTROL, LATEST EDITION.
- SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

- INSTALL SOIL EROSION MEASURES - 1 DAY
- CLEARING & ROUGH GRADING - 2 DAYS
- SPREAD TOP SOIL THROUGHOUT DISTURBED AREAS AND PLANT PER TEMP VEG NOTES - 1 WEEK
- CONSTRUCTION OF HOME - 4 MONTHS
- FINAL GRADING & SITE WORK - 1 WEEK
- REMOVAL OF SOIL EROSION MEASURES - 1 DAY



REV.#	DATE	BY	REVISION DESCRIPTION

DATE: 3-2-23
SCALE: 1"=10'
BY: BG
CHECKED: AFS
SHEET NO. 5 OF 6
FILE#: 22-471

SOIL EROSION & SEDIMENT CONTROL PLAN FOR
LEE ROSSNER
7800 VENTNOR AVENUE, BLOCK 105, LOT 25
CITY OF MARGATE, ATLANTIC COUNTY, NEW JERSEY
ZONE: CBD - CENTRAL BUSINESS; TAX MAP SHEET #1

ANDREW F. SCHAEFFER
PROFESSIONAL ENGINEER
NEW JERSEY LIC. NO. 32883
3-2-23
DATE

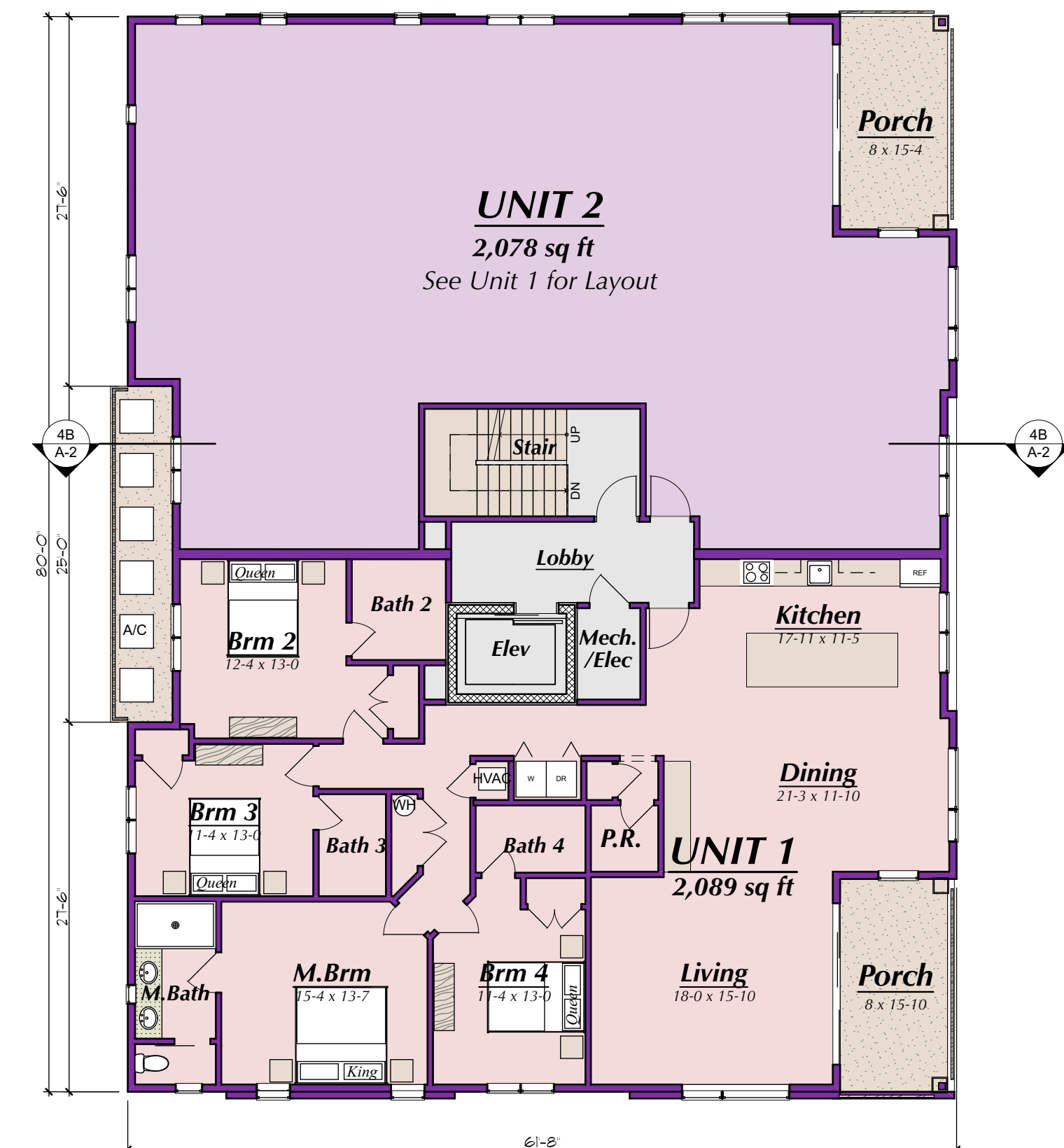
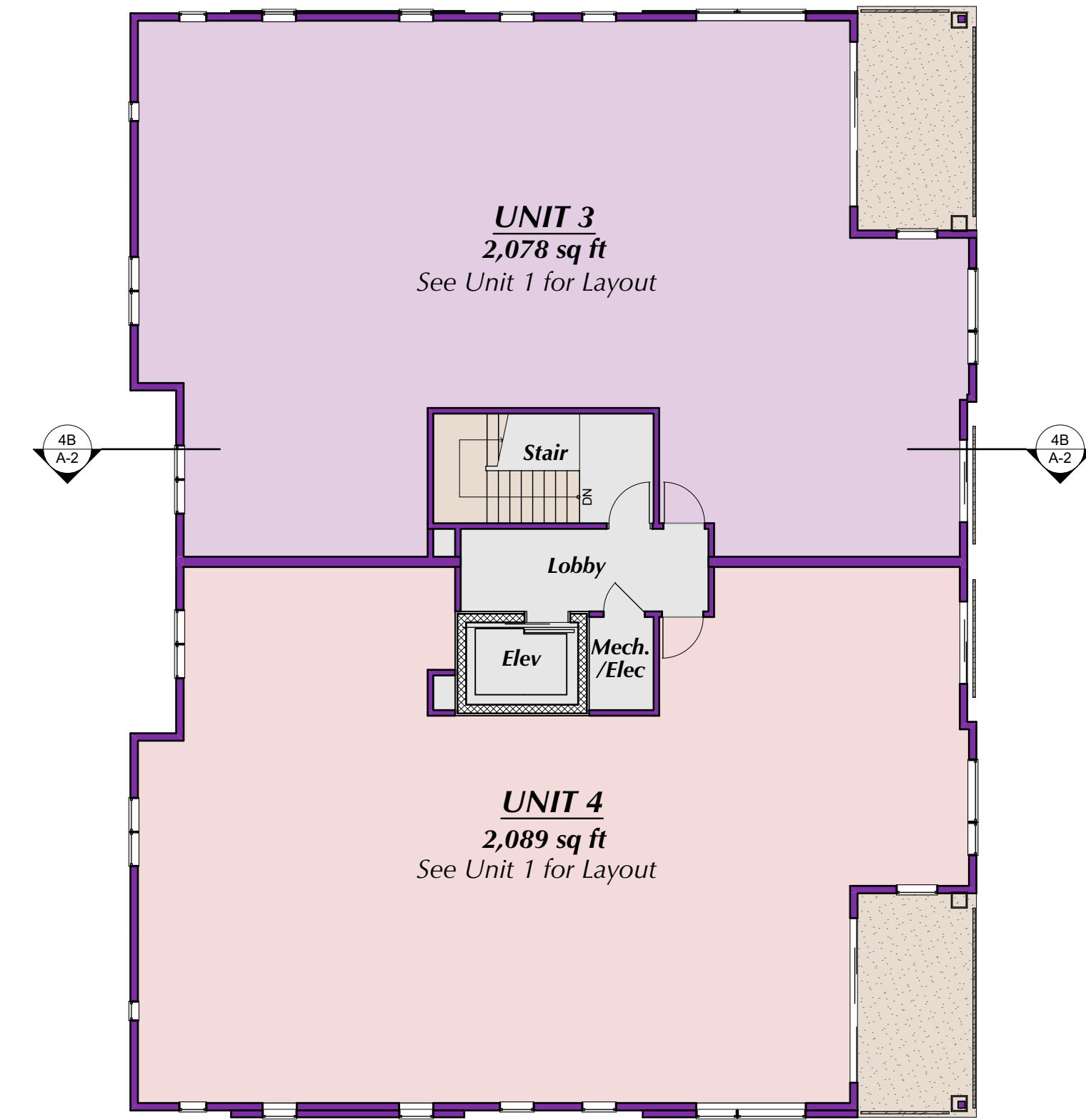
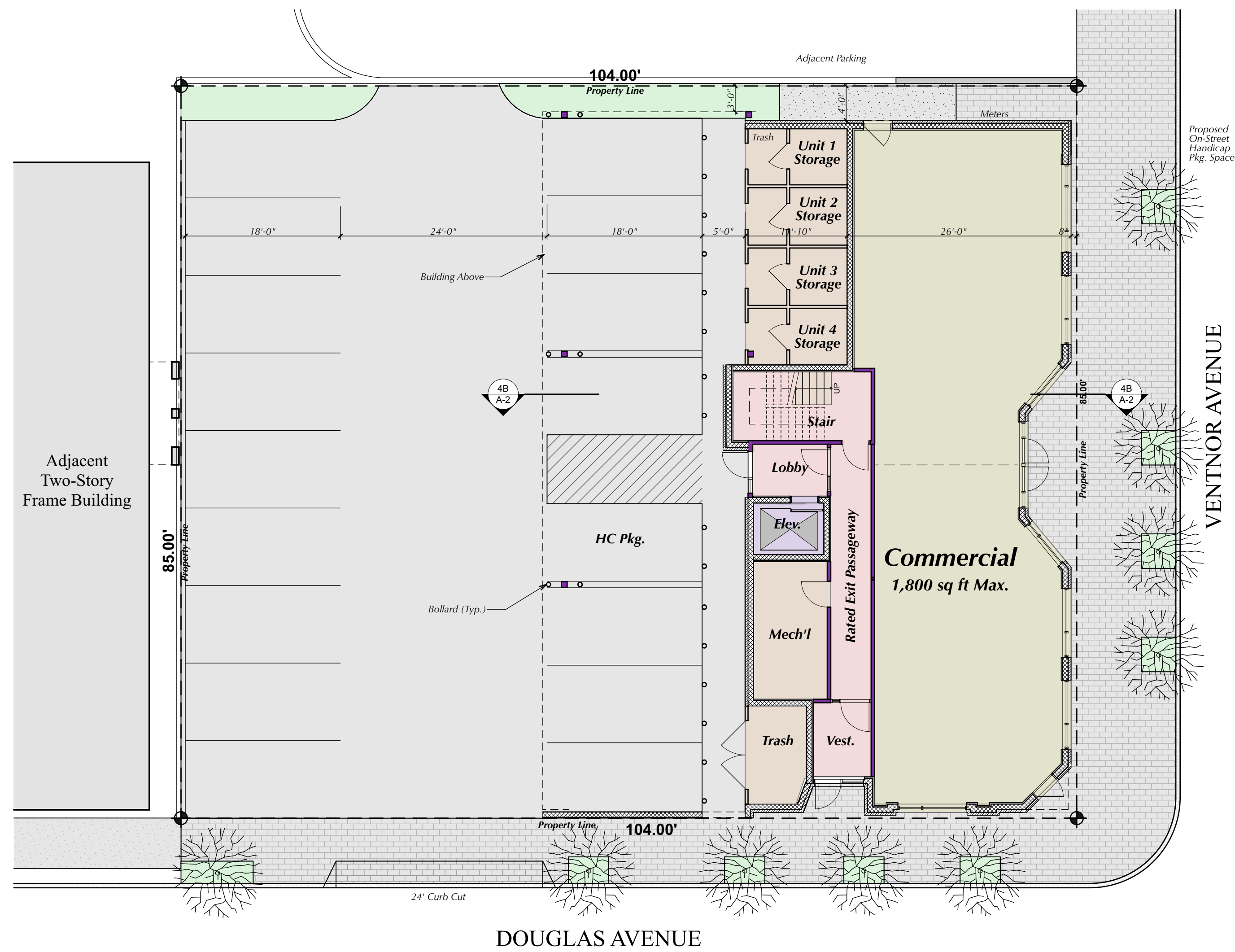
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Telephone: (609) 625-7400 • Fax: (609) 909-0253
Certificate of Authorization #24GA28103800

Proposed Mixed-Use

7800 Ventnor Avenue

Block 105, Lot 25
Margate, NJ

FLOOR AREAS
 Commercial = 1,800 sq ft
 Residential = Units 1 & 3 = 2,078 sq ft
 Residential = Units 2 & 4 = 2,089 sq ft



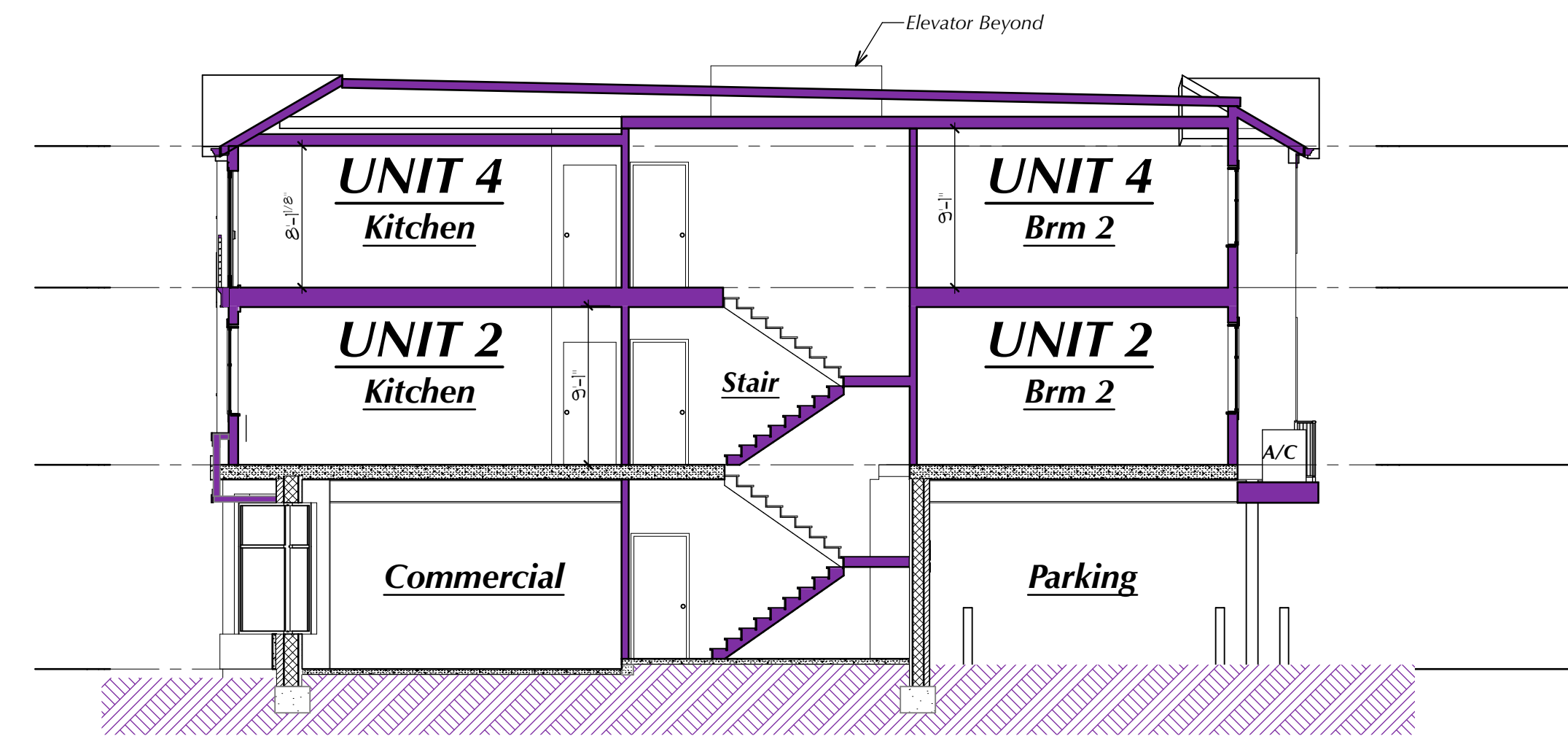
Proposed Mixed-Use

7800 Ventnor Avenue

Block 105, Lot 25
Margate, NJ



1B FRONT ELEVATION (Ventnor Ave)
SCALE: 3/16" = 1'-0"
0 4 8 12



4B SHORT SECTION
SCALE: 1/8" = 1'-0"
0 4 8 16



1A RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
0 4 8 16



2A REAR ELEVATION
SCALE: 1/8" = 1'-0"
0 4 8 16



4A LEFT ELEVATION (Douglas Ave)
SCALE: 1/8" = 1'-0"
0 4 8 16