



Eric S. Goldstein
Managing Partner

egoldstein@ndglegal.com

4030 Ocean Heights Avenue
Egg Harbor Township, NJ 08234

t 609 927 1177

f 609 926 9721

January 30, 2023

VIA HAND DELIVERY

Palma Shiles, Planning Board Administrator
City of Margate Planning Board
9001 Winchester Avenue
Margate City, NJ 08402

RE: Application of 15 S. Mansfield Ave LLC
15 S. Mansfield Avenue
Block 113.02, Lot 16
Margate City, Atlantic County, New Jersey
Our File No. 10661-015

Dear Ms. Shiles:

Please be advised that I represent 15 S. Mansfield Ave LLC, with regard to its application to the City of Margate Planning Board for certain "c" variance relief for the construction of a fence closer to the street on Atlantic Avenue, at the new flood-compliant single-family home, which is presently under construction by Piraino Builders, LLC.

The Applicant seeks a single variance for the location of a 6-foot high open-slat iron fence to surround the proposed pool, which shall also be surrounded by mature landscaping shrubs. The subject lot and house are unique, as the required lot size in the S-40 Zone is 4,000 sq/ft. This lot is 7,265 sq/ft, and all of the setbacks to the house and porch on both Mansfield and Atlantic Avenues greatly exceed the required minimum setbacks pursuant to Margate's Zoning Code. Landscape coverage is in excess of the required minimum amount and the number of parking spaces are in excess of what is required at the site.

It is respectfully submitted that the requested variances pose no detriment to either the neighboring properties or the zone plan and zoning ordinance of the City of Margate.

In support of this application, enclosed please find the following:

1. Original and seventeen (17) copies of the City of Margate Planning Board Application and Variance Application Checklist;
2. Eighteen (18) sets of architectural renderings prepared by Robert J. Lolio, RA, dated July 29, 2022, revised January 25, 2023, consisting of seven (7) sheets;

3. Eighteen (18) copies of the survey and neighboring property setback calculations prepared by Paul Koelling;
4. Eighteen (18) copies of the Staff Committee Application and City of Margate Staff Committee Action Report;
5. One (1) copy of the Deed between Vanessa R. Alibert and Piraino Builders LLC dated April 15, 2022 and recorded on May 2, 2022 in the Atlantic County Clerk's Office as Instrument Number 2022021494;
6. One (1) copy of the Deed between Piraino Builders LLC and 15 S. Mansfield Ave LLC dated December 7, 2022 and recorded on January 4, 2023 in the Atlantic County Clerk's Office as Instrument Number 2022021494;
7. One (1) copy of the 200' Property Owners List;
8. One (1) original Proof of Paid Taxes, water and sewer; and
9. One (1) USB flash drive with electronic copies of all submission materials.

Lastly, I enclose my firm's check in the amount of \$250.00 representing the required application fee.

Please do not hesitate to contact me should you require any additional documents or information in order to deem this application complete. Once deemed complete, please notify me as to the date that the Planning Board will consider this application and our firm will provide the required public notice in advance of that date.

Thank you.

Very truly yours,

NEHMAD DAVIS & GOLDSTEIN, P.C.

By: 

ERIC S. GOLDSTEIN

ESG/Imm
Enclosures

c: Mr. Anthony Piraino (w/encl. via e-mail)
10661-015/39008

APPLICATION FOR ACTION BY PLANNING BOARD
MARGATE, NEW JERSEY

PLEASE
TYPE OR
PRINT

1. **Date of Application:** January 30, 2023

2. Zoning District:

S-60	Single Family Residential	MF	Multi-Family Residential
S-50	Single Family Residential	CBD	Central Business District
S-40	<input checked="" type="checkbox"/> Single Family Residential	C-1	Commercial
S-30	Single Family Residential	C-2	Commercial/Business
S-25	Single Family Residential	WSD	Waterfront Special District
S-25 (HD)	Historic Single Family Residential	GO	Government and Open Space
TF	Two-Family Residential	R	Riparian Overlay District

3. Subject Parcel:

Street Address(es) 15 S. Mansfield Avenue
Block Number 113.02 Lot No(s) 16
Total Area (in square feet) 7,265 sf.
Frontage: 68.69 ft.
Depth: 100 ft.

4. Information about the Applicant:

Full name(s) 15 S. Mansfield Ave LLC
If Business Entity, Names of Officers or Principals (Submit disclosure statement if appropriate)
Anthony Piraino
Local Residence Address PO Box 3193, Margate, NJ Zip 08402
Other Residence Address _____ Zip _____
Business Address _____ Zip _____
Phone Number(s) (include area code);
Local Residence _____ Other Residence _____
Business _____ Fax _____ Cell Phone (610) 506-6295

5. Interest in Subject Property:
 (Supply copies of relevant documents with this Application):

By lease dated _____

By Agreement of Sale dated _____

By Ownership of property since 4/15/22

____ By other interest in law (describe):

6. If you do not own the Subject Property, provide the following regarding the Owner:

Name(s) _____

Address _____

Phone No. (include area code);

Res. _____

Bus. _____

Fax _____

Cell _____

7. Type of Application Applied For (check all applicable):

<input checked="" type="checkbox"/> C Variance(s)	<input type="checkbox"/> Minor Subdivision	<input type="checkbox"/> Interpretation (B Variance)
<input type="checkbox"/> D Variance(s)	<input type="checkbox"/> Major Subdivision	<input type="checkbox"/> Other (Explain)
<input type="checkbox"/> Minor Site Plan Action	<input type="checkbox"/> Conditional Use Permit	_____
<input type="checkbox"/> Major Site Plan Action	<input type="checkbox"/> Appeal (A)	_____

8. Application Made To: X Planning Board Other

9. Professionals Representing the Applicant: (Check applicable professional and provide information)

Attorney: Name Eric S. Goldstein, Esquire Phone (609) 927-1177
 Address Nehmad Davis & Goldstein, PC - 4030 Ocean Heights Avenue, Egg Harbor Township, NJ 08234
 Fax (609) 926-9721 Cell _____

Architect: Name Robert J. Lolio, RA Phone _____
 Address Lolio Architect, 219 Bellevue Avenue, Hammonton, NJ 08037
 Fax _____ Cell _____

Surveyor: Name _____ Phone _____
 Address _____
 Fax _____ Cell _____

Preparer of Subdivision or Site Plan (if different from above)
 Name _____ Phone _____
 Address _____
 Fax _____ Cell _____

(Be sure to include all area codes and zip codes in the above)

<p>10. If Site Plan Action is Required:</p> <p>-What is the present use of the site and building(s)? N/A</p> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <p>-How will this be changed?</p> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>	<p>11. If Subdivision Action is Required:</p> <p>-After conferring with the City Tax Assessor, provide lot numbers of new lot(s), dimensions, and area of each: (use extra pages, if necessary)</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 20%;">Lot No(s)</td> <td style="width: 30%;">Dimension(s)</td> <td style="width: 50%;">Area(s)</td> </tr> <tr> <td>_____</td> <td>_____ x _____</td> <td>_____ S.F.</td> </tr> <tr> <td>_____</td> <td>_____ x _____</td> <td>_____ S.F.</td> </tr> <tr> <td>_____</td> <td>_____ x _____</td> <td>_____ S.F.</td> </tr> </table> <p>-Purpose of the Subdivision</p> <p><input type="checkbox"/> To sell lot(s)</p> <p><input type="checkbox"/> To build and sell homes (or other buildings)</p> <p><input type="checkbox"/> Other (please explain): _____</p>	Lot No(s)	Dimension(s)	Area(s)	_____	_____ x _____	_____ S.F.	_____	_____ x _____	_____ S.F.	_____	_____ x _____	_____ S.F.
Lot No(s)	Dimension(s)	Area(s)											
_____	_____ x _____	_____ S.F.											
_____	_____ x _____	_____ S.F.											
_____	_____ x _____	_____ S.F.											

12. If Variances are Required:

(Note: Properly scaled site plan must show all dimensions relevant to variance analysis)

-Current use of lot(s) and building(s): New flood-compliant home presently under construction

-Proposed use: new 2 1/2 story single-family home, with a pool and a 6 ft. fence surrounding the pool

-If a "D" or "Use" Variance is required, please explain: N/A

-Regarding any dimensional variances required, please fill out the following chart:

Variance	Requirement of District	Present Condition	Proposed Condition
Fence location in front setback on Atlantic Avenue	_____	_____	3 Ft. from Water's Edge of Pool
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

13. Prior Action: Please detail any prior hearing and/or decision relevant to this application. Supply date, name of Board, and results. (IF YOU ARE NOT SURE PLEASE CHECK WITH EITHER BOARD ADMINISTRATOR.) If no prior action, write "none".

N/A

14. County and Other Agency Actions (Provide necessary dates and decisions):

Site Plan:
N/A

Subdivision:
N/A

Other:
N/A


15. Space for Narrative: In this space you must provide a general narrative description of what is being proposed, as well as any information not otherwise set forth above which may be relevant to the application, including justifications, clarifications and extenuating circumstances. FAILURE TO PROPERLY COMPLETE THIS SPACE WILL CONSTITUTE AN INCOMPLETE APPLICATION.

The applicant proposes to construct a new 2 1/2 story single-family home, with a pool and a 6 ft. fence surrounding the pool, as shown on the attached architectural plans prepared by Robert J. Lolio, RA. The fence is proposed to be 3 feet from the water's edge of the pool, but further toward Atlantic Avenue (in the front yard setback for the house), which requires variance relief for the location of the fence.

In order to soften the look of the fence, mature shrubs are proposed to be planted in front of the fence to shield it from the traveled roadway on Atlantic Avenue.

The Applicant seeks a single variance for the location of a 6-foot high open-slat iron fence to surround the proposed pool, which shall also be surrounded by mature landscaping shrubs. The subject lot and house are unique, as the required lot size in the S-40 Zone is 4,000 sq/ft. This lot is 7,265 sq/ft, and all of the setbacks to the house and porch on both Mansfield and Atlantic Avenues greatly exceed the required minimum setbacks pursuant to Margate's Zoning Code. Landscape coverage is in excess of the required minimum amount and the number of parking spaces are in excess of what is required at the site.

16. Signature of Applicant(s):


Eric S. Goldstein, Esquire - Attorney for Applicant
Date 1/30/2023
Date _____

17. This space for Board Administrator:

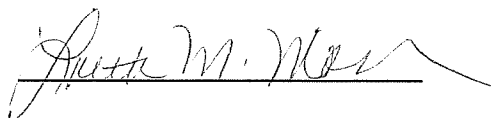
-Staff Committee action took place
_____ and case assigned to
the Planning Board for _____ or

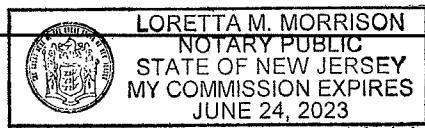
-This application received by the
Planning Board Administrator on

By: _____

18. Notarized Statement by Applicant:

State of New Jersey } ss.
County of Atlantic }
Eric S. Goldstein _____, being duly
sworn according to law, deposes and says, that
the statements contained in the above application
and the statements contained in the papers
submitted herewith are true.
Sworn to and subscribed before me this 27th
day of January 2023.





Corporate Disclosure Form

15 S. Mansfield Ave LLC
(Corporation Name)

IN THE MATTER OF THE: MARGATE CITY PLANNING BOARD

APPLICATION OF 15 S. Mansfield Ave LLC
(print applicant name)

Property Location

Block (113.02) Lot (16)
[Empty lines for address details]

Anthony Piraino, of full age, hereby certified the following factual information:
(print applicant name)

1. I am authorized to file this Certification on behalf of 15 S. Mansfield Ave LLC the
(print corporation name)
owner of the property, which is the subject of this application.

2. 15 S. Mansfield Ave LLC is a limited liability company corporation organized
(print corporation name) (style of)
pursuant to the laws of the State of New Jersey.

3. The names and addresses of all persons having a 10% or greater ownership interest in
15 S. Mansfield Ave LLC are as follows:
(print corporation name)
a. Anthony Piraino
b.
c.

4. There are no other persons or entities having a 10% or greater interest in
15 S. Mansfield Ave LLC.
(print corporation name)

I certify that the foregoing statements made by me are true. I am aware that if any of the foregoing statements made by me
are willfully false, I am subject to punishment.

[Signature]
(signature)

Eric S. Goldstein, Esquire Attorney for Applicant
(print name) (title)

Dated: (January 27, 2023)

LAND USE

Variance Application Checklist

VARIANCE CHECKLIST (Page 1 of 1)		Submitted	Waiver Requested
1.	<p>Submit the following documents with the Standard Development Application:</p> <p>a. Copy of an area map showing all lots within 200 feet of the property.</p> <p>b. List of names, addresses, lot and block numbers, as they appear on the official tax records of the City, of all owners of property within 200 feet of the property affected by the application and upon whom the notice must be served in the manner provided by law.</p> <p>c. Copy of professional survey at a scale not smaller than 1" = 100' nor larger than 1/8" = 1'; clearly indicating the buildings and improvements thereon with all front, side and rear yard dimensions and setbacks from the property lines.</p> <p>d. Copies of subdivision, site plan or conditional use applications when applicable.</p> <p>e. Certification that taxes are paid.</p>	 X X X X	 X
2.	<p>If the survey is more than one year old, attach certification of the applicant or owner that the survey accurately represents the status of the premises and all improvements at the time of filing for the variance, and show any proposed changes with all dimensions including enlargement of existing footprint, if applicable.</p>	X	
3.	<p>A statement containing the following information:</p> <p>a. Date of acquisition of property and from whom.</p> <p>b. The number of dwelling units in existing building(s).</p> <p>c. State whether the applicant or owners own or are under contract to purchase any adjoining lands. Set forth lot and block number(s).</p> <p>d. State whether the application is or is not to be accompanied by a separate application for subdivision, site plan or conditional use approval.</p>	<p>5/2/22 Single-Family Home Owner</p> <p>No</p>	
4.	<p>Ten (10) folded copies of a plot plan, map or survey.</p>		
<p>Checklist prepared by: <u>Eric S. Goldstein, Esquire</u></p> <p>Checklist reviewed by City: _____</p> <p>Application found complete on: _____</p> <p>Application found incomplete on: _____</p>		<p>Date: <u>1/27/23</u></p> <p>_____</p> <p>Date: _____</p> <p>_____</p>	





**City of Margate City
Staff Committee Action - Planning Board**

Block 113.02	Lot 16	Applicant Name Piraino Builders, LLC
District S-40	Address of Subject Application 15 South Mansfield Avenue	

Dear (Name of Submitting Party) Eric S. Goldstein, Esq.
 Your submittal was considered at the Staff Committee meeting of Thursday, January 19, 2023
 The action(s) required prior to building permit are:
 staff committee met and agreed with the request requiring a variance.

The matter will be placed on the agenda of the Planning Board at 6:30PM on Thursday, February 23, 2023
 Applications will be accepted on a first-come first-served basis. If the agenda becomes over-crowded, you will be rescheduled the following month. If you decide, for whatever reason, not to appear on this date, you must notify the Board Administrator as early as possible. The following month's agenda cannot be guaranteed.

The following conditions and special considerations must be addressed as part of your application to the Board:
 complete application

APPLICATION FEES:

D Variance:	\$0.00	Court Reporter:	\$0.00
C Variance:	\$250.00	Other:	\$0.00
Site Plan:	\$0.00		\$0.00
Subdivision:	\$0.00		\$0.00
Conditional Use Permit:	\$0.00		\$0.00

Applicant shall combine all application fees into one separate check made out to the City of Margate. Escrow fees shall be a separate check made out to the City of Margate. NOTE: If an Escrow deposit is requested, a W9 form must be submitted with the Escrow check. Any Escrow funds will be refunded to the name and address indicated on the W9 form.

Please note that in proceeding further with the formal Board Application, you are responsible for satisfying all of the checklist particulars in the appropriate section(s) of the Administrative Regulations. The instructions and checklist for your particular application can be found on the following pages of this booklet: 1-19

You must also comply with the more detailed requirements of the Margate City Land Development Ordinance.

In order for you to be able to appear on the Board Agenda as per the above date, all application material must be submitted by 11:00am, Wednesday, February 01, 2023

Palma Accardi
 Planning Board Administrator
 Thursday, January 19, 2023

Staff Committee Review Application
Please Type or Print Neatly • \$25 Submittal Fee

By Board Administrator Or Zoning Official	Application Received: 12/16/22	Initial: ROR
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Staff Committee meetings are held as needed. Contents must comply in all particulars with the Administrative Regulations for Processing Planning Board Applications, sections on Staff Committee Review. The Board Administrator and other City Hall staff will answer reasonable questions regarding this procedure. THEY WILL NOT, HOWEVER, FILL OUT THESE FORMS FOR YOU.

1. Date of Submittal: December 16, 2022
2. Submitted by – Name: Piraino Builders, LLC Phone No.: (610) 506-6295
Address: PO Box 3193, Margate, NJ 08402
Email Address: tpiraino@aol.com

3. If the party submitting this form is other than the potential Applicant for Board action (attorney, architect, builder, engineer, etc.), then who would the APPLICANT be?

Name: Eric S. Goldstein, Esquire Phone No.: 609-927-1177
Address: Nehmad Davis & Goldstein, PC, 4030 Ocean Heights Ave., Egg Harbor Twp., NJ 08234
Email Address: egoldstein@ndglegal.com

4. The applicant would be (Check one): Owner Renter: _____
Buyer under Agreement of Sale _____ Other: _____

5. If the applicant for Board action would be Renter or Buyer, who is present OWNER?

Name: N/A Phone No.: _____
Address: _____

6. Proposed Action is Located as Follows: Street Address: <u>15 S. Mainsfield Avenue</u> Block: <u>113.02</u> Lot(s): <u>16</u> Zoning District: <u>S-40</u>
--

7. Describe site (and buildings, if any) as existing now: (THIS SECTION MUST BE COMPLETED)

New flood compliant house presently under construction.

8. Answer the following as to:	Existing Condition	Proposed Condition
a. Size and dimension of lot	7,265 sf.	7,265 sf.
b. Size, dimensions of buildings	See attached plans	See attached plans
c. Height of bldgs. (feet)	29 ft., 11"	29 ft, 11"
d. Height of bldgs. (stories)	2.5 stories	2.5 stories
e. % of coverage on land	29.73% (2,160 sf.)	29.73% (2,160 sf.)
f. Front yard setback	See attached plans	See attached plans
g. Rear yard setback	N/A	N/A
h. Side yard setbacks	24.33 ft. total	24.33 ft. total

9. According to the Administrative Regulations, a scaled drawing must accompany this Application. If available, a survey would be appreciated. In addition, use this space to provide a detailed narrative description of the proposed action. Attach additional paper, if necessary:

(THIS SECTION MUST BE COMPLETED)

The applicant proposes to construct a new 2 1/2 story single-family home, with a pool and a 6 ft. fence surrounding the pool, as shown on the attached architectural plans prepared by Robert J. Lolio, RA.

The fence is proposed to be 3 feet from the water's edge of the pool, but further toward Atlantic Avenue (in the front yard setback for the house), which requires variance relief for the location of the fence.

In order to soften the look of the fence, mature shrubs are proposed to be planted in front of the fence to shield it from the traveled roadway on Atlantic Avenue.

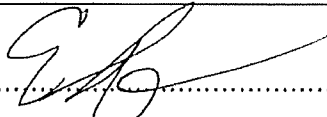
10. Although the Staff Committee will determine the correct legal steps, what are the actions requested. (check more than one, if applicable):

- Subdivision
 C-Variance(s)
 D-(Use) Variance
 Site Plan
 Conditional Use Permit
 Other

11. Which variances are needed, if any?

Fence location in front setback on Atlantic Avenue.

12. IF THERE HAS BEEN ANY PREVIOUS STAFF COMMITTEE OR FORMAL BOARD APPLICATION AND/OR ACTION ON THIS PROPOSAL PROPERTY, PLEASE ATTACH RELEVANT DOCUMENTS, AND PROVIDE INFORMATION HERE: N/A


 Signature of Submitting Party

Eric S. Goldstein, Esquire
 Print or Type Name



Atlantic County Document Summary Sheet



INST # 2022021494
 RECD 05/02/2022 VOL 15220
 RCPT # 1658445 RECD BY RC (6 PGS)
 CON \$2,250,000.00 RTF \$47,200.00
 JOSEPH J. GIRALDO, COUNTY CLERK
 ATLANTIC COUNTY, NJ

ATLANTIC COUNTY CLERK
 5901 MAIN ST
 MAYS LANDING, NJ 08330

Return Name and Address
 Nest Agency, Inc.
 2 Braddock Drive
 Somers Point, NJ 08244

Official Use Only

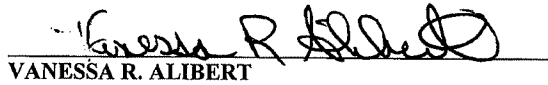
Submitting Company		Nest Agency, Inc.			
Document Date (mm/dd/yyyy)		04/15/2022			
Document Type		DEED			
No. of Pages of the Original Signed Document (Including the cover sheet)		6			
Consideration Amount (if applicable)		\$2,250,000.00			
First Party <i>(Grantor or Mortgagor or Assignor)</i> <i>(Enter up to five names)</i>	Name(s)	<i>Last Name First Name Middle Initial Suffix</i> <i>(or Company Name as written)</i>		Address (Optional)	
	Vanessa R. Alibert				
Second Party <i>(Grantee or Mortgagee or Assignee)</i> <i>(Enter up to five names)</i>	Name(s)	<i>Last Name First Name Middle Initial Suffix</i> <i>(or Company Name as written)</i>		Address (Optional)	
	Piraino Builders LLC				
Parcel Information <i>(Enter up to three entries)</i>	Municipality	Block	Lot	Qualifier	Property Address
	MARGATE	113.02	16		15 S. Mansfield Ave Margate, NJ 08402
Reference Information <i>(Enter up to three entries)</i>	Book Type	Book	Beginning Page	Instrument No.	Recorded/File Date

DO NOT REMOVE THIS PAGE
 DOCUMENT SUMMARY SHEET (COVER SHEET) IS PART OF ATLANTIC COUNTY FILING RECORD, RETAIN THIS PAGE FOR FUTURE REFERENCE.

Promises by Grantor. The Grantor promises that the Grantor has done no act to encumber the property. This promise is called a "covenant as to grantor's acts" (N.J.S.A. 46:4-6). This promise means that the Grantor has not allowed anyone else to obtain any legal rights which affect the property.

Signatures. The Grantor signs this Deed as of the date notarized below.

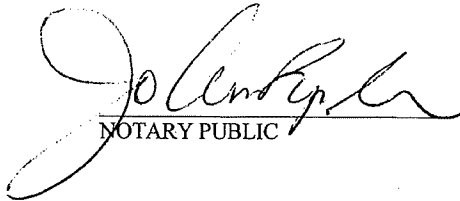

Witness

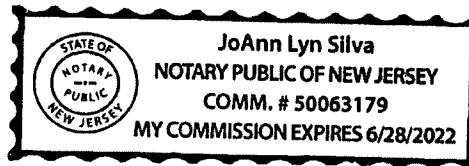

VANESSA R. ALIBERT

STATE OF NEW JERSEY, COUNTY OF ATLANTIC SS:

I CERTIFY that on April 15, 2022, VANESSA R. ALIBERT personally came before me and acknowledged under oath, to my satisfaction, that she:

- (a) is named in and personally signed this Deed;
- (b) signed, sealed and delivered this Deed as her own act and deed; and
- (c) made this Deed for \$2,250,000.00 as the full and actual consideration paid or to be paid for the transfer of title.


NOTARY PUBLIC



Record & Return To:

Schedule A Legal Description

ALL that (those) certain lot(s), tract(s) or parcel(s) of land, with the buildings and improvements thereon erected, situate, lying and being in the City of Margate, County of Atlantic, and State of New Jersey and is bounded and described as follows:

BEGINNING at the Northeasterly corner of Atlantic and Mansfield Avenues, and extending thence

1. Eastwardly along the Northerly line of Atlantic Avenue sixty-eight and sixty-nine one hundredths (68.69) feet to a point sixty-five feet Westwardly of Lancaster Avenue; thence

2. Northwardly, parallel with Lancaster Avenue, one hundred (100) feet; thence

3. Westwardly, parallel with Atlantic Avenue seventy-six and sixty-two one-hundredths (76.62) feet to the Easterly line of Mansfield Avenue; thence

4. Southwardly, along the Easterly line of Mansfield Avenue, one hundred and thirty-one one hundredths (100.31) feet to the Northerly line of Atlantic Avenue, the point and place of BEGINNING.

FOR INFORMATIONAL PURPOSES ONLY: BEING known as Tax Lot 16, in Tax Block 113.02, on the Official Tax Map of the City of Margate.

FOR INFORMATIONAL PURPOSES ONLY: The mailing address is: 15 South Mansfield Avenue, Margate, New Jersey 08402.

STATE OF NEW JERSEY
AFFIDAVIT OF CONSIDERATION FOR USE BY BUYER

(Chapter 49, P.L. 1968, as amended through Chapter 33, P.L. 2006) (N.J.S.A. 46:15-5 et seq.)

PLEASE READ THE INSTRUCTIONS ON THE REVERSE SIDE OF THIS FORM BEFORE COMPLETING THIS AFFIDAVIT

STATE OF NEW JERSEY

COUNTY Atlantic } SS. County Municipal Code 0116
MUNICIPALITY OF PROPERTY LOCATION Atlantic

FOR RECORDER'S USE ONLY
Consideration \$ _____
RTF paid by buyer \$ _____
Date _____ By _____

(1) PARTY OR LEGAL REPRESENTATIVE (See Instructions #3 and #4 on reverse side) XXX-XX-X 9 9 5
Deponent, George Max Rash being duly sworn according to law upon his/her oath,
(Name) Last three digits in grantee's Social Security Number
deposes and says that he/she is the Officer of the Title Company in a deed dated 4/15/22 transferring
(Grantee, Legal Representative, Corporate Officer, Officer of Title Company, Lending Institution, etc.)
real property identified as Block number 113.02 Lot number 16 located at
15 S. Mansfield Ave, Margate, NJ 08402 and annexed thereto.
(Street Address, Town)

(2) CONSIDERATION \$ 2,250,000.00 (See Instructions #1, #5, and #11 on reverse side)

Entire consideration is in excess of \$1,000,000:

PROPERTY CLASSIFICATION CHECKED OR CIRCLED BELOW IS TAKEN FROM OFFICIAL ASSESSMENT LIST (A PUBLIC RECORD) OF MUNICIPALITY WHERE THE REAL PROPERTY IS LOCATED IN THE YEAR OF TRANSFER. REFER TO N.J.A.C. 18:12-2.2 ET SEQ.

(A) Grantee required to remit the 1% fee, complete (A) by checking off appropriate box or boxes below.

- Class 2 - Residential Class 4A - Commercial properties (if checked, calculation in (E) required below)
- Class 3A - Farm property (Regular) and any other real property transferred to same grantee in conjunction with transfer of Class 3A property Cooperative unit (four families or less) (See C. 46:8D-3.) Cooperative units are Class 4C.

(B) Grantee is not required to remit 1% fee (one or more of following classes being conveyed), complete (B) by checking off appropriate box or boxes below.

- Property class. Circle applicable class or classes: 1 3B 4B 4C 15
- Property classes: 1-Vacant Land; 3B- Farm property (Qualified); 4B- Industrial properties; 4C- Apartments; 15: Public Property, etc. (N.J.A.C. 18:12-2.2 et seq.)
- Exempt organization determined by federal Internal Revenue Service/Internal Revenue Code of 1986, 26 U.S.C. s. 501.
- Incidental to corporate merger or acquisition; equalized assessed valuation less than 20% of total value of all assets exchanged in merger or acquisition. If checked, calculation in (E) required and MUST ATTACH COMPLETED RTF-4.

(C) When grantee transfers properties involving block(s) and lot(s) of two or more classes in one deed, one or more subject to the 1% fee (A), with one or more than one not subject to the 1% fee (B), pursuant to N.J.S.A. 46:15-7.2, complete (C) by checking off appropriate box or boxes and (D).

- Property class. Circle applicable class or classes: 1 2 3B 4A 4B 4C 15

(D) EQUALIZED VALUE CALCULATION FOR ALL PROPERTIES CONVEYED, WHETHER THE 1% FEE APPLIES OR DOES NOT APPLY

Total Assessed Valuation + Director's Ratio = Equalized Valuation

Property Class	\$	+	%	=	\$
Property Class	\$	+	%	=	\$
Property Class	\$	+	%	=	\$
Property Class	\$	+	%	=	\$

(E) REQUIRED EQUALIZED VALUE CALCULATION FOR ALL CLASS 4A (COMMERCIAL) PROPERTY TRANSACTIONS: (See Instructions #6 and #7 on reverse side)

Total Assessed Valuation + Director's Ratio = Equalized Value

\$ _____ + _____ % = \$ _____

If Director's Ratio is less than 100%, the equalized valuation will be an amount greater than the assessed valuation. If Director's Ratio is equal to or exceeds 100%, the assessed valuation will be equal to the equalized value.

(3) TOTAL EXEMPTION FROM FEE (See Instruction #8 on reverse side)

Deponent states that this deed transaction is fully exempt from the Realty Transfer Fee imposed by C. 49, P.L. 1968, as amended through Chapter 33, P.L. 2006, for the following reason(s). Mere reference to exemption symbol is insufficient. Explain in detail.

(4) Deponent makes Affidavit of Consideration for Use by Buyer to induce county clerk or register of deeds to record the deed and accept the fee submitted herewith pursuant to the provisions of Chapter 49, P.L. 1968, as amended through Chapter 33, P.L. 2006.

Subscribed and sworn to before me this 15 day of April, 2022

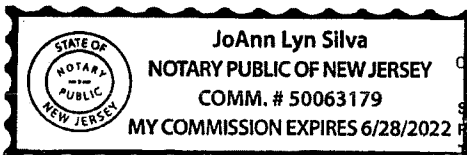
JoAnn Lyn Silva

George Max Rash
Signature of Deponent
2 Braddock Drive, Somers Point, NJ 08244
Deponent Address

Piraino Builders, LLC
Grantee Name

PO Box 3193 Margate, NJ 08402
Grantee Address at Time of Sale

NEST AGENCY, INC.
Name/Company of Settlement Officer



County recording officers: forward one copy of each RTF-1EE to:

STATE OF NJ - DIVISION OF TAXATION
PO BOX 251
TRENTON, NJ 08695-0251

ATTENTION: REALTY TRANSFER FEE UNIT

FOR OFFICIAL USE ONLY
Instrument Number _____ County _____
Deed Number _____ Book _____ Page _____
Deed Dated _____ Date Recorded _____

The Director, Division of Taxation, Department of the Treasury has prescribed this form, as required by law. It may not be altered or amended without prior approval of the Director. For further information on the Realty Transfer Fee or to print a copy of this Affidavit or any other relevant forms, visit: www.state.nj.us/treasury/taxation/lpt/localtax.shtml.



**Atlantic County
Document Summary Sheet**

ATLANTIC COUNTY CLERK

5901 MAIN ST
MAYS LANDING NJ 08330 1797

ATLANTIC COUNTY, NJ
JOSEPH J. GIRALO, COUNTY CLERK
RECORDED 01/04/2023 15:40:04
RCPT # 1699710 RECD BY E-RECORD
NAME FEE
RECORDING FEES 80.00
INSTRUMENT# 2023000552
VOL 15370 PAGE 1 OF 7

Official Use Only

Transaction Identification Number		6448783	7835041
Submission Date(mm/dd/yyyy)	12/07/2022	Return Address (for recorded documents)	
No. of Pages (excluding Summary Sheet)	5	NEHMAD PERILLO DAVIS, PC	
Recording Fee (excluding transfer tax)	\$80.00	4030 OCEAN HEIGHTS AVENUE	
Realty Transfer Tax	\$0.00	EGG HARBOR TOWNSHIP, NJ 08234	
Total Amount	\$80.00		
Document Type	DEED-TOTAL EXEMPTION FROM RTF		
Municipal Codes			
MARGATE	03		
Batch Type	L2 - LEVEL 2 (WITH IMAGES)		
503833			

Additional Information (Official Use Only)

*** DO NOT REMOVE THIS PAGE.**

**COVER SHEET [DOCUMENT SUMMARY FORM] IS PART OF ATLANTIC COUNTY FILING RECORD.
RETAIN THIS PAGE FOR FUTURE REFERENCE.**



**Atlantic County
Document Summary Sheet**

DEED-TOTAL EXEMPTION FROM RTF	Type	DEED-TOTAL EXEMPTION FROM RTF				
	Consideration	\$1.00				
	Submitted By	NEHMAD DAVIS & GOLDSTEIN, PC				
	Document Date	12/07/2022				
	Reference Info					
	Book ID	Book	Beginning Page	Instrument No.	Recorded/File	
	GRANTOR	Name			Address	
		PIRAINO BUILDERS LLC				
	GRANTEE	Name			Address	
		15 S MANSFIELD AVE LLC				
	Parcel Info					
	Property Type	Tax Dist.	Block	Lot	Qualifier	Municipality
		03	113.02	16		03

* DO NOT REMOVE THIS PAGE.
COVER SHEET [DOCUMENT SUMMARY FORM] IS PART OF ATLANTIC COUNTY FILING RECORD.
RETAIN THIS PAGE FOR FUTURE REFERENCE.

Prepared By:
Eric S. Goldstein, Esquire
Preparer signature no longer required pursuant to N.J.S.A. 46:26A-3(b)

DEED

This Deed is made on the 7th day of December 2022

BETWEEN

PIRAINO BUILDERS, LLC, a New Jersey limited liability company,

whose post office address is P.O. Box 3193, Margate, New Jersey 08402, referred to as the Grantor

AND

15 S. MANSFIELD AVE LLC, a New Jersey limited liability company,

whose post office address is P.O. Box 3193, Margate, New Jersey 08402, referred to as the Grantee

The words "Grantor" and "Grantee" shall mean all Grantors and Grantees listed above.

TRANSFER OF OWNERSHIP: The Grantor grants and conveys (transfers ownership of) the property described below to Grantee. This transfer is made for the sum of One Dollar (\$1.00). The Grantor acknowledges receipt of this money.

TAX MAP REFERENCE: (N.J.S.A. 46:26A-3): Municipality of Margate, Block 113.02, Lot 16, Qualifier , Account No.

No property tax identification number is available on the date of this Deed (*check box if applicable*)

4. **PROPERTY:** The property consists of the land and all the buildings and structures on the land in the City of Margate, County of Atlantic and State of New Jersey. The legal description is:

See attached Legal Description

Schedule A Legal Description

ALL that (those) certain lot(s), tract(s) or parcel(s) of land, with the buildings and improvements thereon erected, situate, lying and being in the City of Margate, County of Atlantic, and State of New Jersey and is bounded and described as follows:

BEGINNING at the Northeasterly corner of Atlantic and Mansfield Avenues, and extending thence

1. Eastwardly along the Northerly line of Atlantic Avenue sixty-eight and sixty-nine one hundredths (68.69) feet to a point sixty-five feet Westwardly of Lancaster Avenue; thence
2. Northwardly, parallel with Lancaster Avenue, one hundred (100) feet; thence
3. Westwardly, parallel with Atlantic Avenue seventy-six and sixty-two one-hundredths (76.62) feet to the Easterly line of Mansfield Avenue; thence
4. Southwardly, along the Easterly line of Mansfield Avenue, one hundred and thirty-one one hundredths (100.31) feet to the Northerly line of Atlantic Avenue, the point and place of BEGINNING.

FOR INFORMATIONAL PURPOSES ONLY: BEING known as Tax Lot 16, in Tax Block 113.02, on the Official Tax Map of the City of Margate.

FOR INFORMATIONAL PURPOSES ONLY: The mailing address is: 15 South Mansfield Avenue, Margate, New Jersey 08402.

STATE OF NEW JERSEY
AFFIDAVIT OF CONSIDERATION FOR USE BY SELLER

(Chapter 49, P.L.1968, as amended through Chapter 33, P.L. 2006) (N.J.S.A. 46:15-5 et seq.)
BEFORE COMPLETING THIS AFFIDAVIT, PLEASE READ THE INSTRUCTIONS ON THE REVERSE SIDE OF THIS FORM.

STATE OF NEW JERSEY

FOR RECORDER'S USE ONLY	
Consideration	\$ _____
RTF paid by seller	\$ _____
Date	By _____

COUNTY ATLANTIC } SS. County Municipal Code 0116

MUNICIPALITY OF PROPERTY LOCATION MARGATE CITY

*Use symbol "C" to indicate that fee is exclusively for county use.

(1) PARTY OR LEGAL REPRESENTATIVE (See Instructions #3 and #4 on reverse side)

Deponent, Anthony Piraino, being duly sworn according to law upon his/her oath, (Name)
deposes and says that he/she is the Corporate Officer in a deed dated December 7, 2022 transferring (Grantor, Legal Representative, Corporate Officer, Officer of Title Company, Lending Institution, etc.)
real property identified as Block number 113.02 Lot number 16 located at
15 S. Mansfield Avenue, Margate, Atlantic County, New Jersey and annexed thereto.
(Street Address, Town)

(2) CONSIDERATION \$ 1.00 (Instructions #1 and #5 on reverse side) no prior mortgage to which property is subject.

(3) Property transferred is Class 4A 4B 4C (circle one). If property transferred is Class 4A, calculation in Section 3A below is required.

(3A) REQUIRED CALCULATION OF EQUALIZED VALUATION FOR ALL CLASS 4A (COMMERCIAL) PROPERTY TRANSACTIONS:
(See Instructions #5A and #7 on reverse side)

Total Assessed Valuation + Director's Ratio = Equalized Assessed Valuation

\$ _____ + _____ % = \$ _____

If Director's Ratio is less than 100%, the equalized valuation will be an amount greater than the assessed value. If Director's Ratio is equal to or in excess of 100%, the assessed value will be equal to the equalized valuation.

(4) FULL EXEMPTION FROM FEE (See Instruction #8 on reverse side)

Deponent states that this deed transaction is fully exempt from the Realty Transfer Fee imposed by C. 49, P.L. 1968, as amended through C. 66, P.L. 2004, for the following reason(s). Mere reference to exemption symbol is insufficient. Explain in detail.

(a) For consideration of less than \$100;

(5) PARTIAL EXEMPTION FROM FEE (Instruction #9 on reverse side)

NOTE: All boxes below apply to grantor(s) only. ALL BOXES IN APPROPRIATE CATEGORY MUST BE CHECKED. Failure to do so will void claim for partial exemption. Deponent claims that this deed transaction is exempt from State portions of the Basic, Supplemental, and General Purpose Fees, as applicable, imposed by C. 176, P.L. 1975, C. 113, P.L. 2004, and C. 66, P.L. 2004 for the following reason(s):

- A. SENIOR CITIZEN Grantor(s) 62 years of age or over. * (Instruction #9 on reverse side for A or B)
- B. { BLIND PERSON Grantor(s) legally blind or; *
- DISABLED PERSON Grantor(s) permanently and totally disabled receiving disability payments not gainfully employed*

Senior citizens, blind persons, or disabled persons must also meet all of the following criteria:
 Owned and occupied by grantor(s) at time of sale. Resident of State of New Jersey.
 One or two-family residential premises. Owners as joint tenants must all qualify.

*IN CASE OF HUSBAND AND WIFE, PARTNERS IN A CIVIL UNION COUPLE, ONLY ONE GRANTOR NEED QUALIFY IF TENANTS BY THE ENTIRETY.

- C. LOW AND MODERATE INCOME HOUSING (Instruction #9 on reverse side) IF APPLIES ALL BOXES MUST BE CHECKED.
 Affordable according to H.U.D. standards. Reserved for occupancy.
 Meets income requirements of region. Subject to resale controls.

(6) NEW CONSTRUCTION (Instructions #2, #10 and #12 on reverse side) IF APPLIES ALL BOXES MUST BE CHECKED.

- Entirely new improvement Not previously occupied.
- Not previously used for any purpose. "NEW CONSTRUCTION" printed clearly at top of first page of the deed.

(7) RELATED LEGAL ENTITIES TO LEGAL ENTITIES (Instructions #5, #12, #14 on reverse side) IF APPLIES ALL BOXES MUST BE CHECKED.

- No prior mortgage assumed or to which property is subject at time of sale.
- No contributions to capital by either grantor or grantee legal entity.
- No stock or money exchanged by or between grantor or grantee legal entities.

(8) INTERCOMPANY TRANSFER IF APPLIES ALL BOXES MUST BE CHECKED. (Instruction #15 on reverse side)

- Intercompany transfer between combined group members as part of the unitary business
- Combined group NU ID number (Required) _____

(9) Deponent makes this Affidavit to induce county clerk or register of deeds to record the deed and accept the fee submitted herewith in accordance with the provisions of Chapter 49, P.L. 1968, as amended through Chapter 33, P.L. 2006.

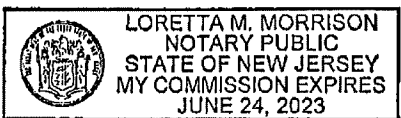
Subscribed and sworn to before me this 7th day of December, 2022

Arden M. Morrison

[Signature]
Signature of Deponent
PO Box 3193
Margate, NJ 08402

Piraino Builders, LLC
Grantor Name
PO Box 3193
Margate, NJ 08402
Grantor Address at Time of Sale

097
Last three digits in Grantor's Social Security Number Name/Company of Settlement Officer



FOR OFFICIAL USE ONLY	
Instrument Number	County
Deed Number	Book Page
Deed Dated	Date Recorded

County recording officers shall forward one copy of each RTF-1 form when Section 3A is completed to: STATE OF NEW JERSEY

PO BOX 251

TRENTON, NJ 08695-0251

ATTENTION: REALTY TRANSFER FEE UNIT

The Director of the Division of Taxation in the Department of the Treasury has prescribed this form as required by law, and may not be altered or amended without prior approval of the Director. For information on the Realty Transfer Fee or to print a copy of this Affidavit, visit the Division of Taxation website at:

www.state.nj.us/treasury/taxation/tp/loccatx.htm

GIT/REP-3
(2-21)
(Print or Type)

**State of New Jersey
Seller's Residency Certification/Exemption**

Seller's Information

Name(s)
PIRANO BUILDERS, LLC

Current Street Address
P.O. Box 3193

City, Town, Post Office	State	ZIP Code
Margate	NJ	08402

Property Information

Block(s)	Lot(s)	Qualifier
113.02	16	

Street Address
15 S. Mansfield Avenue

City, Town, Post Office	State	ZIP Code
Margate	NJ	08302

Seller's Percentage of Ownership	Total Consideration	Owner's Share of Consideration	Closing Date
100%	\$1.00	\$1.00 / 100%	

Seller's Assurances (Check the Appropriate Box) (Boxes 2 through 16 apply to Residents and Nonresidents)

1. Seller is a resident taxpayer (individual, estate, or trust) of the State of New Jersey pursuant to the New Jersey Gross Income Tax Act, will file a resident Gross Income Tax return, and will pay any applicable taxes on any gain or income from the disposition of this property.
2. The real property sold or transferred is used exclusively as a principal residence as defined in 26 U.S. Code section 121.
3. Seller is a mortgagor conveying the mortgaged property to a mortgagee in foreclosure or in a transfer in lieu of foreclosure with no additional consideration.
4. Seller, transferor, or transferee is an agency or authority of the United States of America, an agency or authority of the State of New Jersey, the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Government National Mortgage Association, or a private mortgage insurance company.
5. Seller is not an individual, estate, or trust and is not required to make an estimated Gross Income Tax payment.
6. The total consideration for the property is \$1,000 or less so the seller is not required to make an estimated Income Tax payment.
7. The gain from the sale is not recognized for federal income tax purposes under 26 U.S. Code section 721, 1031, or 1033 (CIRCLE THE APPLICABLE SECTION). If the indicated section does not ultimately apply to this transaction, the seller acknowledges the obligation to file a New Jersey Income Tax return for the year of the sale and report the recognized gain.
8. Seller did not receive non-like kind property.
9. The real property is being transferred by an executor or administrator of a decedent to a devisee or heir to effect distribution of the decedent's estate in accordance with the provisions of the decedent's will or the intestate laws of this State.
10. The real property being sold is subject to a short sale instituted by the mortgagee, whereby the seller agreed not to receive any proceeds from the sale and the mortgagee will receive all proceeds paying off an agreed amount of the mortgage.
11. The deed is dated prior to August 1, 2004, and was not previously recorded.
12. The real property is being transferred under a relocation company transaction where a trustee of the relocation company buys the property from the seller and then sells the house to a third party buyer for the same price.
13. The real property is being transferred between spouses or incident to a divorce decree or property settlement agreement under 26 U.S. Code section 1041.
14. The property transferred is a cemetery plot.
15. The seller is not receiving net proceeds from the sale. Net proceeds from the sale means the net amount due to the seller on the settlement sheet.
16. The seller is a retirement trust that received an acknowledgment letter from the Internal Revenue Service that the seller is a retirement trust, and is therefore not required to make the estimated Gross Income Tax payment.
17. The seller (and/or spouse/civil union partner) originally purchased the property while a resident of New Jersey as a member of the U.S. Armed Forces and is now selling the property as a result of being deployed on active duty outside of New Jersey. (Only check this box if applicable and neither boxes 1 nor 2 apply.)

Seller's Declaration

The undersigned understands that this declaration and its contents may be disclosed or provided to the New Jersey Division of Taxation and that any false statement contained herein may be punished by fine, imprisonment, or both. I furthermore declare that I have examined this declaration and, to the best of my knowledge and belief, it is true, correct and complete. By checking this box I certify that a Power of Attorney to represent the seller(s) has been previously recorded or is being recorded simultaneously with the deed to which this form is attached.

Pirano Builders, LLC

12/7/12 _____
Date By: Anthony Pirano, Signature (Seller) Indicate if Power of Attorney or Attorney in Fact
Authorized Member

_____ Date _____ Signature (Seller) Indicate if Power of Attorney or Attorney in Fact

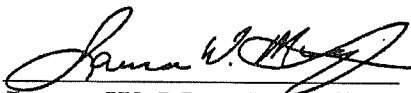


Office of the Tax Assessor
Municipal Building
9001 Winchester Ave.
Margate City, NJ 08402
609-822-1950
FAX 609-487-1142

James W. Manghan, CTA
Tax Assessor

Eric S. Goldstein
Nehmad Davis & Goldstein, PC
4030 Ocean Heights Avenue
Egg Harbor Township, NJ 08234

Block: 113.02 Lot: 16
Location: 15 S Mansfield
Date: December 14, 2022


James W. Manghan, CTA
Tax Assessor

Your file No.: 10661-015

Tax list good for 60 days per Margate City Code Book (170-5)

www.margate-nj.com

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS	
12 1	101 S LANCASTER AVE	2	BARSKY, ROBERT & NANCY 5 SOUTHWOOD DRIVE CHERRY HILL, NJ	08003
12 2	103 S LANCASTER AVE	2	LYONS, SHERRY 1141 WILLARD ROAD HUNTINGDON VALLEY, PA	19006
13 1	101 S MANSFIELD AVE	2	DISANDRO TRUSTS, ANTHONY & LILLIAN 205 MCCLURE DRIVE BLUE BELL, PA	19422
13 2	103 S MANSFIELD AVE	2	PENFIL TRUSTS, E&F@ DR SCOTT PENFIL 8003 SUNSTONE CIRCLE PIKESVILLE, MD	21208
13 9	8510 ATLANTIC AVE	2	FELIXON, PAUL J & ROCHELLE 210 LOCUST STREET #7-B PHILADELPHIA, PA	19106
13 10	102 S LANCASTER AVE	2	PANITCH, IRWIN & ORLEE 11753 GAINSBOROUGH ROAD POTOMAC, MD	20854
14 1	101 S NASSAU AVE	2	SIEGEL, KENNETH & CINDY 4586 RIVERSIDE WAY PHILADELPHIA, PA	19127
14 2	103 S NASSAU AVE	2	KOFFER, HARRIS & KATHERINE 130 S 18TH ST #2201 PHILADELPHIA, PA	19103
14 9	8600 ATLANTIC AVE	2	MERION-GATE PARTNERS, LLC 730 RIGHTERS RD PENN VALLEY, PA	19072
14 10	102 S MANSFIELD AVE	2	PREMIUMS UNLIMITED, LLC 303 BEECH AVE LINWOOD, NJ	08221
113.01 7	9 S LANCASTER AVE	2	ASHER TRUST, INA LOUISE 301 N. LATCHES LN MERION, PA	19066
113.01 8	11 S LANCASTER AVE	2	SCHWARTZ TRUSTS, BARRY PAUL & SANDI 21218 ST ANDREWS BLVD#516 BOCA RATON, FL	33433
113.01 9	15 S LANCASTER AVE	2	ROSEN TRUST @ MARC ROSEN 15 S LANCASTER AVE MARGATE, NJ	08402
113.01 10	17 S LANCASTER AVE	2	RIESENBACH, E GERALD & MARCY 627 LINDY LANE BALA CYNWYD, PA	19004

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS	
113.01 15	12 S KENYON AVE	2	MARINO, MICHAEL A & LOVADA M 12 S KENYON AVE MARGATE, NJ	08402
113.01 16	14 S KENYON AVE	2	SMITH DAVID & GAYLE R 320 S 21ST STREET PHILADELPHIA, PA	19103
113.01 17.01	16 S KENYON AVE	2	HOLLANDER TRUSTEES, S C & K L 16 S KENYON AVE MARGATE, NJ	08402
113.01 17.02	18 S KENYON AVE	2	BARRETT TRUST, BARBARA 190 PRESIDENTIAL BLVD 307 BALA CYNWYD, PA	19004
113.01 18	8501 ATLANTIC AVE	2	VILLARI, PHILIP & JOYCE 8501 ATLANTIC AVE MARGATE, NJ	08402
113.01 19	8507 ATLANTIC AVE	2	URIS, HARRIET M 8507 ATLANTIC AVENUE MARGATE, NJ	08402
113.01 20	19 S LANCASTER AVE	2	SHAFER, JOEL & CARLA 412 PIAZZA WAY DRESHER, PA	19025
113.02 1	1 S MANSFIELD AVE	2	COTNEY, CLAIR M 1 S MANSFIELD AVE MARGATE, NJ	08402
113.02 2	3 S MANSFIELD AVE	2	STEELE, MARK & PAMELA 3 S MANSFIELD AVEVE MARGATE, NJ	08402
113.02 3	5 S MANSFIELD AVE	2	ROSNER, WILLIAM & EILEEN 1100 MARKET ST UNIT 4043 DRESHER, PA	19025
113.02 4	7 S MANSFIELD AVE	2	ROSNER, THEODORE D & BONNIE 7 S MANSFIELD AVE MARGATE, NJ	08402
113.02 5	9 S MANSFIELD AVE	2	KAMINSKY, BRUCE P & SUSANNA R 1201 SANDRINGHAM ROAD BALA CYNWYD, PA	19004
113.02 10	10 S LANCASTER AVE	2	HOFF, MATTHEW & JOYCE 10 S LANCASTER AVE MARGATAE, NJ	08402
113.02 11	12 S LANCASTER AVE	2	ESKIN TRUST, MARK R 641 ROOSEVELT DR HORSHAM, PA	19044

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
113.02 13	14 S LANCASTER AVE	2	MOSKOVITZ, DAVID B & JULIA M 910 OLD DOLINGTON ROAD NEWTOWN, PA 18940
113.02 14	16 S LANCASTER AVE	2	SHAPIRO, RAYMOND L & JUDITH M 16 S LANCASTER AVENUE MARGATE, NJ 08402
113.02 15	18 S LANCASTER AVE	2	GETZOFF, BARRY L 1708 SAINT GEORGES RD DRESHER, PA 19025.1309
113.02 16	15 S MANSFIELD AVE	1	PIRAINO BUILDERS LLC P.O. BOX 3193 MARGATE, NJ 08402
113.02 17	8509 ATLANTIC AVE	2	ROTHMAN, MARSHA W @ 233 SO 6TH ST,#2201-K-L PHILADELPHIA, PA 19106
114 2	3 S NASSAU AVE	2	CARPEY, DANIEL & NANCY 440 S BROAD STREET #1501 PHILADELPHIA, PA 19146
114 3	5 S NASSAU AVE	2	SHEVITZ, JERRY & FREDA G 9 ALCOTT DRIVE LIVINGSTON, NJ 07039
114 4.01	7 S NASSAU AVE ML4	2	ERBER TRUST 7 S NASSAU AVE MARGATE, NJ 08402
114 4.02	9 S NASSAU AVE ML4	1	ERBER TRUST 7 S NASSAU AVE MARGATE, NJ 08402
114 6	11 S NASSAU AVE	2	MANOS, TED PETER & BARBARA A 11 S NASSAU AVE MARGATE, NJ 08402
114 7	8605 ATLANTIC AVE	2	GOTTSCHALL TRUST, ARLENE 8605 ATLANTIC AVE MARGATE, NJ 08402
114 9	2 S MANSFIELD AVE	2	BRENNER, MICHAEL & DONNA LEE 203 FOREST DRIVE HOLLAND, PA 18966
114 10	4 S MANSFIELD AVE	2	GREENBERG TRUSTS, LOUIS & DONNA 8681 VALHALLA DRIVE DELRAY BEACH, FL 33446
114 11	6 S MANSFIELD AVE	2	BARRETT, MICHAEL & ROBYN 1306 WAVERLY ROAD GLADWYNE, PA 19035

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
114 12	8 S MANSFIELD AVE	2	MULLIGAN, MARCIA 112 WINTER STREET NORWELL, MA 02061
114 13	10 S MANSFIELD AVE	2	ROSEMAN FAMILY TRUST, LYNN@JEROME 10 S MANSFIELD AVE MARGATE, NJ 08402
114 14	12 S MANSFIELD AVE	2	MILGRAM, RICHARD & MARLA 508 HILLBROOK RD BRYN MAWR, PA 19010

UTILITIES TO BE NOTIFIED WITH TAXLIST

ATLANTIC CITY ELECTRIC
5100 HARDING HIGHWAY, SUITE 399
MAYS LANDING, NJ 08330

SOUTH JERSEY GAS COMPANY
VP CONSTRUCTION
1 SOUTH JERSEY PLAZA, RT. 54
FOLSOM, NJ 08037

COMCAST CABLE, GREG SMITH, PM
901 LEEDS AVENUE
ABSECON, NJ 08201

ITEMS PRINTED.....48



REVENUE and FINANCE DEPARTMENT

Office of the Tax Collector

City of Margate City

9001 Winchester Avenue

Margate City, New Jersey 08402

609-822-2508

RECEIVED

DEC 19 2022

NDG LEGAL

Date: 12/14/22

To Whom It May Concern:

I HEREBY CERTIFY THAT the TAX for 4TH Qtr. 2022

And the WATER & SEWER for 2022

Are paid on property located 15 S Mansfield Ave

Assessed to Pirano Builders LLC

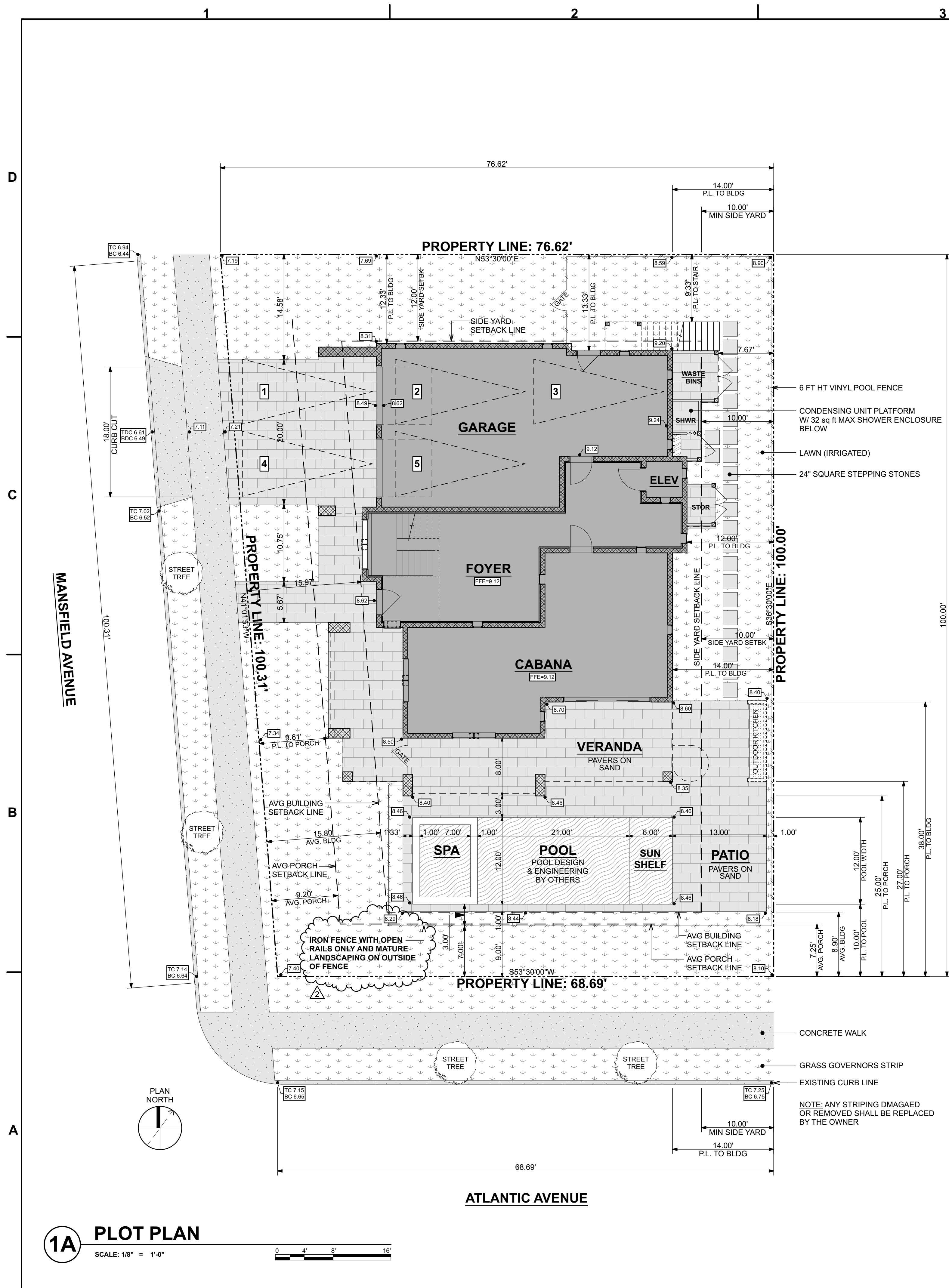
And designated as

BLOCK 113.02, LOT 16; Tax Map of Margate City, N.J.

Tara J Mazza, CTC

Tax Collector

Per LH



ZONING CONFORMANCE SCHEDULE: S-40 ZONE
 15 S MANSFIELD AVENUE
 BLOCK 113.02 LOT 16

USE	REQUIRED	PROPOSED	CONFORMS
MIN LOT AREA	4,000 SQ FT	7,265 SQ FT	CONFORMS
MIN LOT WIDTH	50 FT	68.69 FT	CONFORMS
MAX BUILDING COVERAGE	30% = 2,179 SQ FT	2,160 SQ FT = 29.73%	CONFORMS
ATLANTIC AVE FRONT YARD - BLDG	8.90 FT PREVAILING	33.0 FT	CONFORMS
ATLANTIC AVE FRONT YARD - PORCH	7.25 FT PREVAILING	25.0 FT	CONFORMS
MANSFIELD AVE FRONT YARD - BLDG	15.80 FT PREVAILING	15.97 FT	CONFORMS
MANSFIELD AVE FRONT YARD - PORCH	9.20 FT PREVAILING	9.61 FT	CONFORMS
MIN FRONT YARD - GARAGE	18.0 FT	18.78 FT	CONFORMS
MIN REAR YARD	N/A	N/A	CONFORMS
MIN SIDE YARD	10.0 FT	12.0 FT	CONFORMS
MIN SIDE YARD	10.0 FT	12.33 FT	CONFORMS
MIN TOTAL SIDE YARD	22.0 FT	24.33 FT	CONFORMS
MAX BUILDING HEIGHT	30 FT ABV FIN FLR	29'-11"	CONFORMS
STORIES	2.5 STORIES	2.5 STORIES	CONFORMS
FLOORS	2.5 FLOORS	2.5 FLOORS	CONFORMS
MIN ROOF PITCH	5:12	5:12	CONFORMS
ATLANTIC AVE FRONT YARD LANDSCAPE	60%	100%	CONFORMS
MANSFIELD AVE FRONT YARD LANDSCAPE	60%	63.6%	CONFORMS
LANDSCAPE COVERAGE	35%	2,722 sq ft = 37.4%	CONFORMS
OFF STREET PARKING	(7) BEDROOMS = 4 SPACES	5 SPACES	CONFORMS
PARKING SPACE SIZE	9'x18'	9'x18'	CONFORMS
AC UNITS	5 FT	5.17 FT	CONFORMS
EXTERIOR SHOWER SETBACK	3 FT	> 3 FT	CONFORMS
DRIVEWAY CURB CUTS	(1) 18 FT WIDE OR (1) 10 FT WIDE	(1) 18 FT WIDE	CONFORMS
POOL EQUIPMENT SETBACK	10 FT SIDE YARD & 5 FT REAR YARD	> 10 FT SIDE YARD	CONFORMS

TYPICAL SITE NOTES

- PROVIDE UNDERGROUND UTILITIES (ELECTRIC, TELEPHONE, CABLE, ETC) FROM NEAREST EXISTING LOCATION
- SET ELECTRIC & GAS METERS ABOVE DESIGN FLOOD ELEVATION
- A LICENSED SURVEYOR SHALL STAKE OUT FOR ALL PILING/FOUNDATIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN THE BUILDING DIMENSIONS OR YARD SETBACK COMPLIANCE PRIOR TO INSTALL OF PILING/FOUNDATIONS.
- VERIFY ACTUAL ON SITE GRADE CONDITIONS SUCH AS T.O. CURB, AVERAGE GRADES, ETC WITH THOSE PROPOSED ON THE PLOT PLAN AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO INSTALLATION OF PILING/FOUNDATION.
- VERIFY NEW GRADING/SITE WORK DOES NOT ALLOW STORMWATER RUNOFF TO DRAIN ONTO ADJACENT NEIGHBORING PROPERTIES
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING
- FINISHED INTERIOR GRADE OR HOUSEKEEPING SLABS MUST BE AT OR ABOVE THE ADJACENT EXTERIOR GRADE.

GRADE LEGEND

- EXISTING ELEVATION (BASED ON NAVD'88)
- PROPOSED ELEVATION (BASED ON NAVD'88)

TYPICAL STREET TREE NOTES

LONDON PLANE TREE OR CITY APPROVED EQUAL SHALL BE PLANTED WITHIN GOVERNORS STRIP AS ADEQUATE SPACE IS AVAILABLE AND NO OVERHEAD WIRES PRESENT. TREES SHALL BE NO CLOSER THAN 25 FT FROM THE INTERSECTION AND SHALL NOT BLOCK ANY SIGNS. 3" CALIPER/8 FT HIGH

TYPICAL LAWN NOTES

LAWN W/ UNDERGROUND SPRINKLER SYSTEM. INSTALL IRRIGATION SYSTEM CONSISTING OF VALVES, WATER LINES SPRINKLER HEADS, AND CONTROL PANELS TO ADEQUATELY COVER SOD AND PLANT BED AREA. INSTALL AS RECOMMENDED BY THE MANUFACTURER

GATE NOTES

ALL OUTDOOR GATES OR DOORS OPENING THROUGH THE FENCE ENCLOSURE SHALL BE EQUIPPED WITH A SELF-CLOSING AND SELF-LATCHING DEVICE DESIGNED TO KEEP AND CAPABLE OF KEEPING SUCH DOOR OR GATE SECURELY CLOSED AT ALL TIMES WHEN NOT IN ACTUAL USE, AND SUCH OUTDOOR GATES OR DOORS SHALL REMAIN LOCKED AT ALL TIMES THE POOL OR HOT TUB/SPA IS NOT IN USE.

FENCE NOTES

ALL OUTDOOR THE FENCE SURROUNDING SWIMMING POOLS AND HOT TUBS/SPAS SHALL BE NO LESS THAN SIX FEET AND NO MORE THAN SIX FEET ABOVE FINISHED GRADE. THE FENCE MUST BE STRUCTURALLY SUITABLE TO DETER ACCESS TO THE POOL, HAVING NO OPENINGS, HOLES OR GAPS LARGER THAN FOUR INCHES IN ANY DIRECTION, INCLUDING GATES, AND DESIGNED SO AS NOT TO PERMIT AN EASY TOEHOLD TO CLIMB OVER IT. THE FENCE SHALL BE CONSTRUCTED OF WEATHER-RESISTIVE MATERIALS AND SHALL BE ASSEMBLED OR FABRICATED WITH SUFFICIENT RIGIDITY TO PREVENT SUBSTANTIAL ALTERATION OR DEFORMATION OF THE LAWFUL OPENINGS, HOLES OR GAPS.

POOL NOTES

POOL FOUNDATION, WALLS, REINFORCING DESIGN AND ANY MECHANICAL OR ELECTRICAL SERVICES TO THE POOL SHALL BE PROVIDED BY THE POOL CONTRACTOR AND HIS/HER CONSULTANT'S. GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY ELECTRIC AND GAS LINES TO THE POOL EQUIPMENT AREAS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM

SURVEY LIST REQUIRED DURING CONSTRUCTION

THE GENERAL CONTRACTOR SHALL OBTAIN THE FOLLOWING AND INCLUDE IN BASE BID

1. FOUNDATION AS BUILT SURVEY INCLUDING TOP OF BLOCK
2. ROOF HEIGHT ELEVATION LETTER
3. FINAL AS BUILT SURVEY
4. FLOOD ELEVATION CERTIFICATES

LANDSCAPE PLAN

THE GENERAL CONTRACTOR SHALL PROVIDE A LANDSCAPING PLAN TO THE OWNER FOR THEIR APPROVAL. ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY'S ZONING REGULATIONS.

TYPICAL SHRUB NOTES

- ATLANTIC AVENUE: PROVIDE MIN 39 SHRUBS, NO LESS THAN 18 INCHES HIGH (68.69-40)/2+24)
- MANSFIELD AVENUE: PROVIDE MIN 55 SHRUBS, NO LESS THAN 18 INCHES HIGH (100.31-40)/2+24)
- MIN OF 50% OF THE SHRUBS SHALL BE PLANTED BETWEEN THE PRINCIPAL STRUCTURE AND THE FRONT PROPERTY LINE
- SELECT SHRUBS FROM CITY OF MARGATE APPROVED LISTING

Robert J. Lollio
 Robert J. Lollio, RA
 E: bob@lollioarchitect.com
 NJ Lic No. 21A101935300

CONSTRUCTION DOCUMENTS

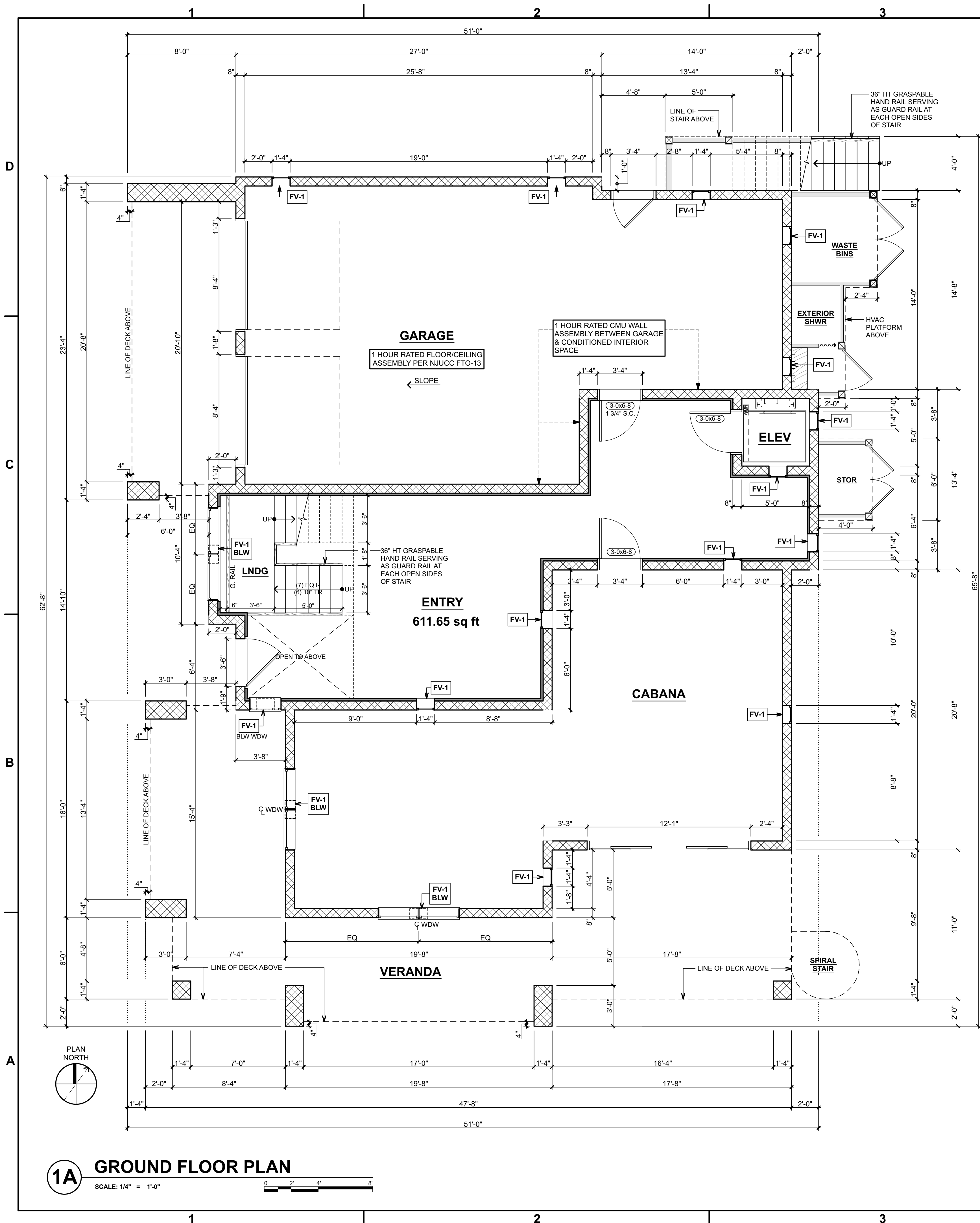
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 Block 113.02 Lot 16
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1	12/1/2022	FENCE REVISION
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DATE : 7/29/22

JOB NO. 22-021

Plot Plan



FLOOD VENT LEGEND	
FV-1	"SMART-VENT" INSULATED FLOOD VENT MODEL #1540-520 W/ #1540-526 SEALING KIT
FV-D	"SMART-VENT" INSULATED FLOOD VENT W/ FIRE DAMPER MODEL #1540-530
FV-2	"SMART-VENT" DUAL FUNCTION FLOOD & VENTILATION VENT MODEL #1540-510
FV-3	"SMART-VENT" WOOD WALL INSULATED FLOOD VENT MODEL #1540-570

NOTE: EACH "SMART-VENT" PROVIDES 200 SF OF FLOOD RELIEF. SEE SPECIFICATIONS FOR FURTHER INFORMATION

GARAGE FLOOD VENT NOTES	
ENCLOSED GARAGE AREA	= 832 SF
(5) EXTERIOR FLOOD VENTS @ 200 sf/VENT OF FLOOD RELIEF	= 1,000 SF

ENTRY + CABANA FLOOD VENT NOTES	
TOTAL ENCLOSED AREA	= 1,308 SF
(7) EXTERIOR FLOOD VENTS @ 200 sf/VENT OF FLOOD RELIEF	= 1,400 SF

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- PROVIDE (5) ADJUSTABLE SHELVES AT LINEN/STORAGE CLOSETS.
- THE PLANS AND DETAILS HEREIN HAVE BEEN PREPARED BASED ON ARCHITECTS UNDERSTANDING OF THE PROPOSED INSTALLATION. NOTIFY ARCHITECT IMMEDIATELY IF SITE CONDITIONS DIFFER FROM THOSE DEPICTED ON THE PLANS & DETAILS.
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- TYPICAL EXTERIOR WALL = 2x6 STUD WALL @ 16"OC WITH DOUBLE TOP PLATE & SINGLE BOTTOM PLATE UNLESS NOTED.
- H. RAIL = ALL STAIR HANDRAILS SHALL BE NO LESS THAN 34" HT AND NO MORE THAN 38" HT MEASURED VERT. FROM STAIR NOSING. PROVIDE 36" HT GRASPABLE HANDRAIL AT OPEN SIDES OF STAIRS SERVING AS GUARD RAIL AS MEASURED VERTICALLY ABOVE NOSING.
- G. RAIL = ALL GUARD RAIL SHALL BE A MIN. 3'-0" HT
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE 1/2" GYP BD
- INTERIOR FINISHES PER OWNER
- USE PRESSURE TREATED STUDS & PLYWOOD BELOW DESIGN FLOOR ELEVATION.
- ROOF PITCHES ARE APPROXIMATE AND G.C. SHALL VERIFY ROOF PITCHES IN FIELD TO CONFORM TO THE ALLOWABLE BUILDING HT.
- GENERAL CONTRACTOR TO CONFIRM HEADROOM CLEARANCE AT STAIRS PRIOR TO FRAMING AND NOTIFY ARCHITECT IMMEDIATELY OF ANY CONCERNS
- GROUND FOUNDATION RE-BAR TO ELECTRICAL SYSTEM
- WINDOWS ARE DIMENSIONED TO THE CENTERLINE UNLESS NOTED OTHERWISE.
- ALL INTERIOR WALL CORNERS SHALL BE SQUARE (90 DEGREE)

FIRE PLACE NOTES

- MANUFACTURER AND MODEL TO BE SELECTED BY THE OWNER
- FIREPLACE SHALL BE A PREMANUFACTURED CODE APPROVED DIRECT VENT FIREPLACE W/ GAS LOG SET & NON-COMBUSTIBLE HEARTH
- FRAMED FIRE PLACE WALLS AND CHASES ARE APPROXIMATE. VERIFY ACTUAL DIMENSIONS WITH SELECTED MODEL AND MANUFACTURER. SEE MANUFACTURER'S SPECIFICATIONS FOR ALL REQUIRED CLEARANCES, CHASE CONSTRUCTION DIMENSIONS, & ALL FIRE-STOP LOCATIONS FOR CHIMNEY.
- CONFIRM ALL REQUIRED FIREBOX CLEARANCES WITH MANUFACTURER PRIOR TO FRAMING.

ELEVATOR NOTES

- MANUFACTURER AND MODEL TO BE SELECTED BY THE OWNER
- VERIFY/COORDINATE SIZE OF ELEVATOR SHAFT AND PIT DIMENSIONS BASE ON THE FINAL SELECTED MANUFACTURER & MODEL SHOP DRAWINGS

CONSTRUCTION TYPE V-A NOTES

- ALL FLOOR/CEILING ASSEMBLIES, ROOF/CEILING ASSEMBLIES, EXTERIOR WALLS, & INTERIOR LOAD-BEARING WALLS SHALL BE 1 HR FIRE RATED ASSEMBLIES. SEE FIRE RATED ASSEMBLIES FOR ADDITIONAL INFORMATION.
- PENETRATIONS SUCH AS RECESSED LIGHT FIXTURES, IN CEILING LOUD SPEAKERS, ETC SHALL RECEIVE UL-RATED FIRE RATED LIGHT COVER BY TENMAT OR EQUAL TO MAINTAIN THE INTEGRITY OF THE FIRE RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY

EXHAUST HOOD/MAKE UP AIR

IF THE KITCHEN HOOD IS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE (0.19 M3/S), THE EXHAUST SYSTEM SHALL BE MECHANICALLY PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. THE KITCHEN EXHAUST MAKEUP AIR SHALL BE DISCHARGED INTO THE SAME ROOM IN WHICH THE EXHAUST SYSTEM IS LOCATED OR INTO ROOMS OR DUCT SYSTEMS THAT COMMUNICATE THROUGH ONE OR MORE PERMANENT OPENINGS WITH THE ROOM IN WHICH SUCH EXHAUST SYSTEM IS LOCATED. SUCH PERMANENT OPENINGS SHALL HAVE A NET CROSS-SECTIONAL AREA NOT LESS THAN THE REQUIRED AREA OF THE MAKEUP AIR SUPPLY OPENINGS. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH NOT FEWER THAN ONE DAMPER. EACH DAMPER SHALL BE A GRAVITY DAMPER OR AN ELECTRICALLY OPERATED DAMPER THAT AUTOMATICALLY OPENS WHEN THE EXHAUST SYSTEM OPERATES. DAMPERS SHALL BE LOCATED TO ALLOW ACCESS FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION OR ANY OTHER DUCTS NOT CONNECTED TO THE DAMPER BEING INSPECTED, SERVICED, REPAIRED OR REPLACED.

INTERIOR TRIM

INTERIOR TRIM SHALL BE COORDINATED WITH THE OWNER UNLESS NOTED OTHERWISE. CONTRACTOR SHALL MOCK-UP INTERIOR TRIM DETAIL ON SITE FOR OWNERS APPROVAL PRIOR TO ORDERING MATERIALS.

INTERIOR STAIR

THE INTERIOR STAIR DESIGN & INSTALLATION SHALL BE COORDINATED WITH THE OWNER UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF THE STAIR AND RAILING FOR THE OWNER'S APPROVAL PRIOR TO ORDERING.

KITCHEN DESIGN

THE KITCHEN DESIGN & LAYOUT SHALL BE COORDINATED WITH THE OWNER. THE KITCHEN DESIGNER SHALL PREPARE CABINETRY DRAWINGS FOR THE OWNER'S APPROVAL PRIOR TO ORDERING.

FLOOD VENT NOTES

PER IRC R322.2.2

- THE TOTAL NET AREA ON NON-ENGINEERED OPENINGS SHALL NOT BE LESS THAN 1 SQUARE INCH FOR SQUARE FOOT OF ENCLOSED AREA WHERE THE ENCLOSED AREA IS MEASURED ON THE EXTERIOR OF THE ENCLOSURE WALLS, OR THE OPENINGS SHALL BE DESIGNED AS ENGINEERED OPENINGS AND THE CONSTRUCTION DOCUMENTS SHALL INCLUDE A STATEMENT BY THE REGISTERED DESIGN PROFESSIONAL THAT THE DESIGN OF THE OPENINGS WILL PROVIDE FOR EQUALIZATION OF HYDROSTATIC FLOOD FORCES ON THE EXTERIOR WALLS BY ALLOWING FOR THE AUTOMATIC ENTRY AND EXIT OF FLOODWATERS.
- OPENINGS SHALL NOT BE LESS THAN 3" IN ANY DIRECTION IN THE PLANE OF THE WALL
- THE PRESENCE OF LOUVERS, BLADES, SCREENS, AND FACEPLATES OR OTHER COVERS AND DEVICES SHALL ALLOW THE AUTOMATIC FLOW OF FLOODWATER INTO AND OUT OF THE ENCLOSED AREA AND SHALL BE ACCOUNTED FOR IN THE DETERMINATION OF THE NET OPEN AREA

PER IRC R322.2.2.1

- THERE SHALL NOT BE LESS THAN TWO OPENINGS ON DIFFERENT SIDES OF EACH ENCLOSED AREA. IF BUILDING HAS MORE THAN ONE ENCLOSED AREA BELOW THE DESIGN FLOOR ELEVATION, EACH AREA SHALL HAVE OPENINGS
- THE BOTTOM OF EACH OPENING SHALL BE NOT MORE THAN 1 FT ABOVE THE HIGHER OF THE FINAL INTERIOR GRADE OR FLOOR AND THE FINISHED EXTERIOR GRADE IMMEDIATELY UNDER THE OPENING
- OPENINGS SHALL BE PERMITTED TO BE INSTALLED IN DOORS AND WINDOW

PER IRC R406.1.2.1

THE FINISHED FLOOR LEVEL OF AN UNDER FLOOR SPACE SUCH AS A CRAWL SPACE SHALL BE EQUAL TO OR HIGHER THAN THE OUTSIDE FINISHED GROUND LEVEL ON AT LEAST ONE SIDE.

LOLLO architect
 219 Bellevue Ave
 Hammonton, NJ 08037
 P: 856-322-6476
 E: bob@lolloarchitect.com
 www.lolloarchitect.com

Bob Lollo

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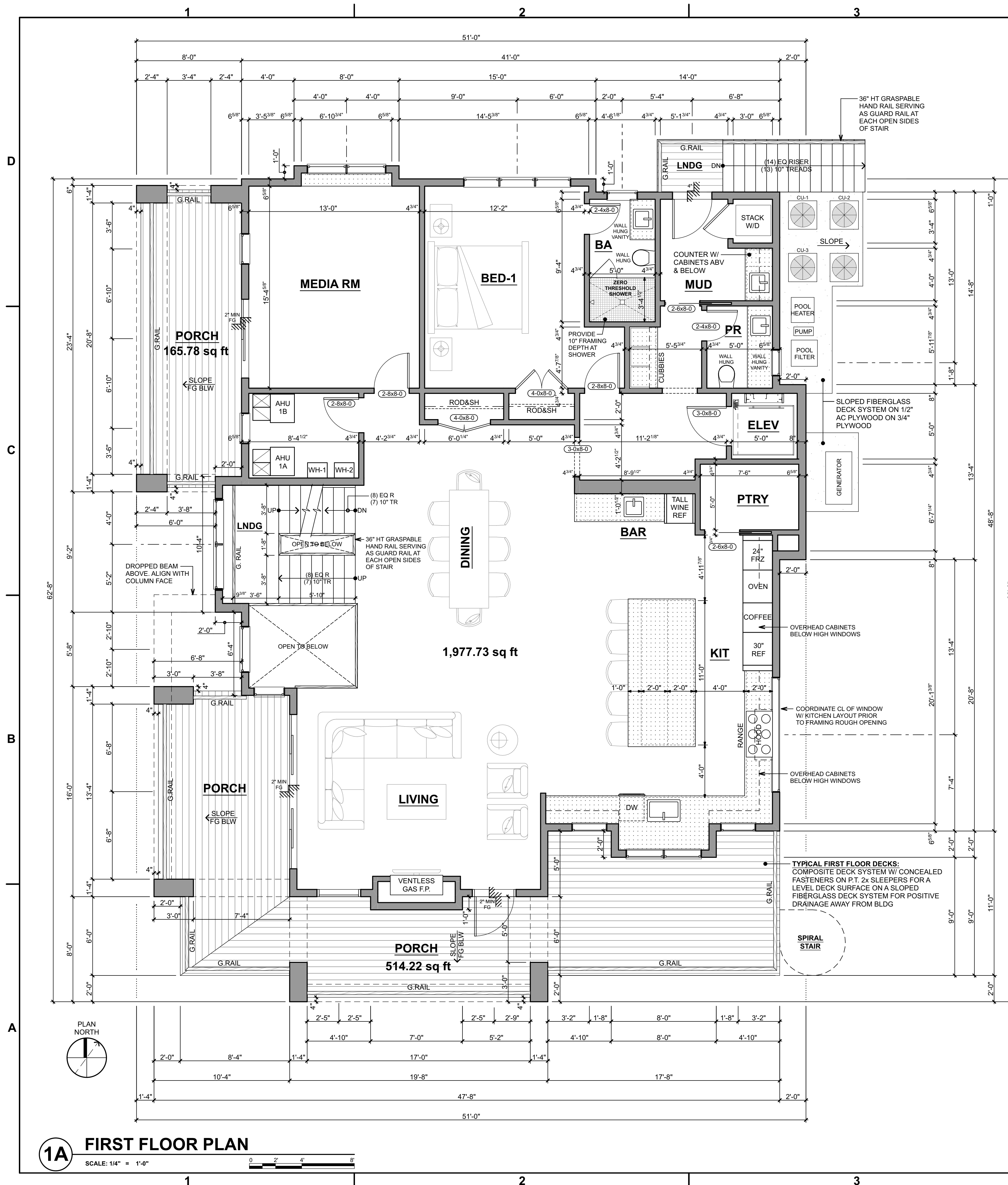
1 12/1/2022 FENCE REVISION
 2 1/25/23 FENCE REVISION

DATE : 7/29/22

JOB NO. 22-021

Ground Floor Plan

SHEET A-102



TYPICAL PLAN NOTES

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4. PROVIDE (5) ADJUSTABLE SHELVES AT LINEN/STORAGE CLOSETS.
5. THE PLANS AND DETAILS HEREIN HAVE BEEN PREPARED BASED ON ARCHITECTS UNDERSTANDING OF THE PROPOSED INSTALLATION. NOTIFY ARCHITECT IMMEDIATELY IF SITE CONDITIONS DIFFER FROM THOSE DEPICTED ON THE PLANS & DETAILS.
6. TYPICAL INTERIOR WALL = 2x4 STUD WALL @ 16"OC WITH DOUBLE TOP PLATE & SINGLE BOTTOM PLATE UNLESS NOTED.
7. TYPICAL EXTERIOR WALL = 2x6 STUD WALL @ 16"OC WITH DOUBLE TOP PLATE & SINGLE BOTTOM PLATE UNLESS NOTED.
8. H. RAIL = ALL STAIR HANDRAILS SHALL BE NO LESS THAN 34" HT AND NO MORE THAN 38" HT MEASURED VERT. FROM STAIR NOSING. PROVIDE 36" HT GRASPABLE HANDRAIL AT OPEN SIDES OF STAIRS SERVING AS GUARD RAIL AS MEASURED VERTICALLY ABOVE NOSING.
9. G. RAIL = ALL GUARD RAIL SHALL BE A MIN. 3'-0" HT
10. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE 1/2" GYP BD
11. INTERIOR FINISHES PER OWNER
12. USE PRESSURE TREATED STUDS & PLYWOOD BELOW DESIGN FLOOD ELEVATION.
13. ROOF PITCHES ARE APPROXIMATE AND G.C. SHALL VERIFY ROOF PITCHES IN FIELD TO CONFORM TO THE ALLOWABLE BUILDING HT.
14. GENERAL CONTRACTOR TO CONFIRM HEADROOM CLEARANCE AT STAIRS PRIOR TO FRAMING AND NOTIFY ARCHITECT IMMEDIATELY OF ANY CONCERNS
15. GROUND FOUNDATION RE-BAR TO ELECTRICAL SYSTEM
16. WINDOWS ARE DIMENSIONED TO THE CENTERLINE UNLESS NOTED OTHERWISE.
17. ALL INTERIOR WALL CORNERS SHALL BE SQUARE (90 DEGREE)

FIRE PLACE NOTES

1. MANUFACTURER AND MODEL TO BE SELECTED BY THE OWNER
2. FIREPLACE SHALL BE A PREMANUFACTURED CODE APPROVED DIRECT VENT FIREPLACE W/ GAS LOG SET & NON-COMBUSTIBLE HEARTH
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4. CONFIRM ALL REQUIRED FIREBOX CLEARANCES WITH MANUFACTURER PRIOR TO FRAMING.

ELEVATOR NOTES

1. MANUFACTURER AND MODEL TO BE SELECTED BY THE OWNER
2. VERIFY/COORDINATE SIZE OF ELEVATOR SHAFT AND PIT DIMENSIONS BASE ON THE FINAL SELECTED MANUFACTURER & MODEL SHOP DRAWINGS

CONSTRUCTION TYPE V-A NOTES

1. ALL FLOOR/CEILING ASSEMBLIES, ROOF/CEILING ASSEMBLIES, EXTERIOR WALLS, & INTERIOR LOAD-BEARING WALLS SHALL BE 1 HR FIRE RATED ASSEMBLIES. SEE FIRE RATED ASSEMBLIES FOR ADDITIONAL INFORMATION.
2. PENETRATIONS SUCH AS RECESSED LIGHT FIXTURES, IN CEILING LOUD SPEAKERS, ETC SHALL RECEIVE UL-RATED FIRE RATED LIGHT COVER BY TENMAT OR EQUAL TO MAINTAIN THE INTEGRITY OF THE FIRE RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY

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FLOOD VENT NOTES

- PER IRC R322.2.2
- 2.1. THE TOTAL NET AREA ON NON-ENGINEERED OPENINGS SHALL NOT BE LESS THAN 1 SQUARE INCH FOR SQUARE FOOT OF ENCLOSED AREA WHERE THE ENCLOSED AREA IS MEASURED ON THE EXTERIOR OF THE ENCLOSURE WALLS, OR THE OPENINGS SHALL BE DESIGNED AS ENGINEERED OPENINGS AND THE CONSTRUCTION DOCUMENTS SHALL INCLUDE A STATEMENT BY THE REGISTERED DESIGN PROFESSIONAL THAT THE DESIGN OF THE OPENINGS WILL PROVIDE FOR EQUALIZATION OF HYDROSTATIC FLOOD FORCES ON THE EXTERIOR WALLS BY ALLOWING FOR THE AUTOMATIC ENTRY AND EXIT OF FLOODWATERS.
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- THE FINISHED GROUND LEVEL OF AN UNDER FLOOR SPACE SUCH AS A CRAWL SPACE SHALL BE EQUAL TO OR HIGHER THAN THE OUTSIDE FINISHED GROUND LEVEL ON AT LEAST ONE SIDE.

LOLO architect
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 P: 856-322-6476
 E: bob@lolochitect.com
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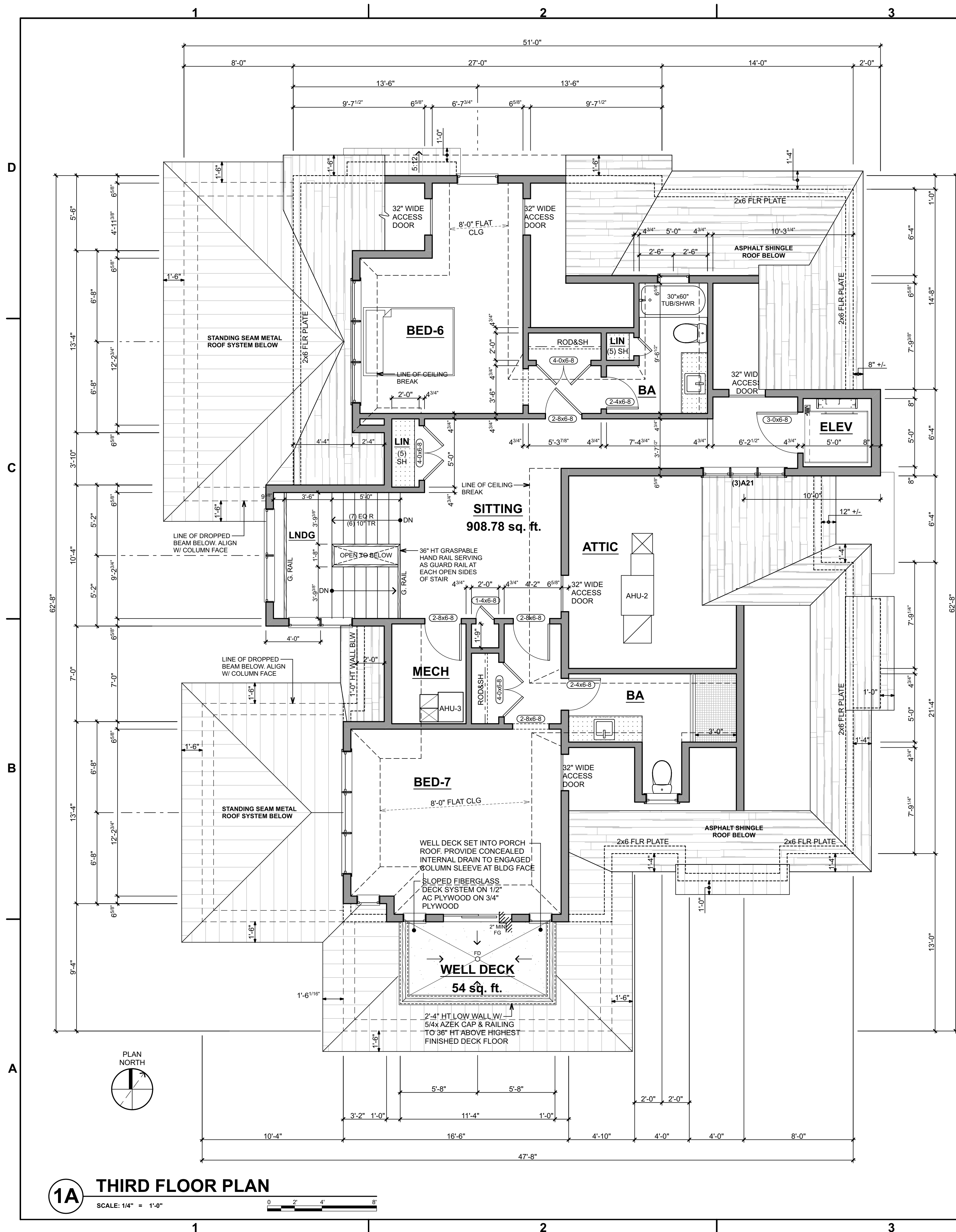
DATE : 7/29/22

JOB NO. 22-021

First Floor Plans

SHEET A-103

1A FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



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11. INTERIOR FINISHES PER OWNER
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CONSTRUCTION TYPE V-A NOTES

1. ALL FLOOR/CEILING ASSEMBLIES, ROOF/CEILING ASSEMBLIES, EXTERIOR WALLS, & INTERIOR LOAD-BEARING WALLS SHALL BE 1 HR FIRE RATED ASSEMBLIES. SEE FIRE RATED ASSEMBLIES FOR ADDITIONAL INFORMATION.
2. PENETRATIONS SUCH AS RECESSED LIGHT FIXTURES, IN CEILING LOUD SPEAKERS, ETC SHALL RECEIVE UL-RATED FIRE RATED LIGHT COVER BY TENMAT OR EQUAL TO MAINTAIN THE INTEGRITY OF THE FIRE RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY

EXHAUST HOOD/MAKE UP AIR

IF THE KITCHEN HOOD IS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE (0.19 M3/S), THE EXHAUST SYSTEM SHALL BE MECHANICALLY PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. THE KITCHEN EXHAUST MAKEUP AIR SHALL BE DISCHARGED INTO THE SAME ROOM IN WHICH THE EXHAUST SYSTEM IS LOCATED OR INTO ROOMS OR DUCT SYSTEMS THAT COMMUNICATE THROUGH ONE OR MORE PERMANENT OPENINGS WITH THE ROOM IN WHICH SUCH EXHAUST SYSTEM IS LOCATED. SUCH PERMANENT OPENINGS SHALL HAVE A NET CROSS-SECTIONAL AREA NOT LESS THAN THE REQUIRED AREA OF THE MAKEUP AIR SUPPLY OPENINGS. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH NOT FEWER THAN ONE DAMPER. EACH DAMPER SHALL BE A GRAVITY DAMPER OR AN ELECTRICALLY OPERATED DAMPER THAT AUTOMATICALLY OPENS WHEN THE EXHAUST SYSTEM OPERATES. DAMPERS SHALL BE LOCATED TO ALLOW ACCESS FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION OR ANY OTHER DUCTS NOT CONNECTED TO THE DAMPER BEING INSPECTED, SERVICED, REPAIRED OR REPLACED.

INTERIOR TRIM

INTERIOR TRIM SHALL BE COORDINATED WITH THE OWNER UNLESS NOTED OTHERWISE. CONTRACTOR SHALL MOCK-UP INTERIOR TRIM DETAIL ON SITE FOR OWNERS APPROVAL PRIOR TO ORDERING MATERIALS.

INTERIOR STAIR

THE INTERIOR STAIR DESIGN & INSTALLATION SHALL BE COORDINATED WITH THE OWNER UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF THE STAIR AND RAILING FOR THE OWNER'S APPROVAL PRIOR TO ORDERING.

KITCHEN DESIGN

THE KITCHEN DESIGN & LAYOUT SHALL BE COORDINATED WITH THE OWNER. THE KITCHEN DESIGNER SHALL PREPARE CABINETRY DRAWINGS FOR THE OWNER'S APPROVAL PRIOR TO ORDERING.

FLOOD VENT NOTES

- PER IRC R322.2.2
- 2.1. THE TOTAL NET AREA ON NON-ENGINEERED OPENINGS SHALL NOT BE LESS THAN 1 SQUARE INCH FOR SQUARE FOOT OF ENCLOSED AREA WHERE THE ENCLOSED AREA IS MEASURED ON THE EXTERIOR OF THE ENCLOSURE WALLS, OR THE OPENINGS SHALL BE DESIGNED AS ENGINEERED OPENINGS AND THE CONSTRUCTION DOCUMENTS SHALL INCLUDE A STATEMENT BY THE REGISTERED DESIGN PROFESSIONAL THAT THE DESIGN OF THE OPENINGS WILL PROVIDE FOR EQUALIZATION OF HYDROSTATIC FLOOD FORCES ON THE EXTERIOR WALLS BY ALLOWING FOR THE AUTOMATIC ENTRY AND EXIT OF FLOODWATERS.
 - 2.2 OPENINGS SHALL NOT BE LESS THAN 3" IN ANY DIRECTION IN THE PLANE OF THE WALL
 - 2.3 THE PRESENCE OF LOUVERS, BLADES, SCREENS, AND FACEPLATES OR OTHER COVERS AND DEVICES SHALL ALLOW THE AUTOMATIC FLOW OF FLOODWATER INTO AND OUT OF THE ENCLOSED AREA AND SHALL BE ACCOUNTED FOR IN THE DETERMINATION OF THE NET OPEN AREA
- PER IRC R322.2.2.1
1. THERE SHALL NOT BE LESS THAN TWO OPENINGS ON DIFFERENT SIDES OF EACH ENCLOSED AREA, IF BUILDING HAS MORE THAN ONE ENCLOSED AREA BELOW THE DESIGN FLOOR ELEVATION, EACH AREA SHALL HAVE OPENINGS
 2. THE BOTTOM OF EACH OPENING SHALL BE NOT MORE THAN 1 FT ABOVE THE HIGHER OF THE FINAL INTERIOR GRADE OR FLOOR AND THE FINISHED EXTERIOR GRADE IMMEDIATELY UNDER THE OPENING
 3. OPENINGS SHALL BE PERMITTED TO BE INSTALLED IN DOORS AND WINDOW
- PER IRC R406.1.2.1
- THE FINISHED GROUND LEVEL OF AN UNDER FLOOR SPACE SUCH AS A CRAWL SPACE SHALL BE EQUAL TO OR HIGHER THAN THE OUTSIDE FINISHED GROUND LEVEL ON AT LEAST ONE SIDE.

[Lolo] architect
 219 Bellevue Ave
 Hammonton, NJ 08037
 P: 856-322-6476

Robert J. Lolo
 Robert J. Lolo, RA
 E: bob@loloarchitect.com
 www.loloarchitect.com

CONSTRUCTION DOCUMENTS

Private Residence
 15 S Mansfield Avenue
 City of Margate
 Block 113.02 Lot 16
 Atlantic County, NJ

1	12/1/2022	FENCE REVISION
2	1/25/23	FENCE REVISION

DATE : 7/29/22

JOB NO. 22-021
 Third Floor Plan

SHEET A-105

1A THIRD FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1C MANSFIELD AVENUE ELEVATION
SCALE: 1/4" = 1'-0"

TYPICAL ELEVATION KEYED NOTES	
1	STANDING SEAM METAL ROOF SYSTEM PER SPECIFICATIONS
2	ASPHALT ROOF SHINGLES PER SPECIFICATIONS
3	1x8 BORAL SHIPLAP SIDING WITH MITERED CORNERS
4	FASCIA TRIM: 1x8 AZEK FASCIA W/ METAL DRIP EDGE
5	RAILING SYSTEM: CODE APPROVED COMPOSITE RAILING SYSTEM
6	12" SQUARE SITE BUILT AZEK COLUMN SLEEVES OVER P.T. POST PER STRUCTURAL DWG'S
7	3 COAT CEMENT STUCCO W/ ELASTOMERIC FINISH COAT ON SELF FURRING GALV. STL LATH
8	EXTERIOR WINDOW TRIM: ONE PIECE (JAMB, SILL, & HEAD) AZEK WINDOW SURROUNDS. SEE TYPICAL WINDOW DETAIL FOR ADDITIONAL INFORMATION
9	AZEK WRAPPED DROPPED BEAM. RETURN TO BUILDING FACE AT ALL SIDES. FACE OF DROPPED BEAM MUST ALIGN WITH FACE OF COLUMN SHAFT.
10	EXTERIOR STAIR: 1x AZEK RISER & COMPOSITE DECK TREADS
11	FLOOD VENT
12	PROVIDE BLIND METAL FLASHING AT ALL INTERSECTIONS WITH ROOF
13	NATURAL STONE LINEAR WALL CLADDING
14	AZEK DECK CLAD FASCIA
15	CUSTOM AZEK RAFTER TAILS @ 24"oc
16	VERTICAL COMPOSITE SIDING BY NEWTECH WOOD "EUROPEAN STYLE"

TYPICAL ELEVATION NOTES	



2A ATLANTIC AVENUE ELEVATION
SCALE: 1/4" = 1'-0"



1C EAST ELEVATION

SCALE: 1/4" = 1'-0"

D
C
B
A



2A NORTH ELEVATION

SCALE: 1/4" = 1'-0"

1	12/1/2022	FENCE REVISION
2	1/25/23	FENCE REVISION

DATE : 7/29/22

JOB NO. 22-021

Elevations