

# PMB&B

## PERSKIE MAIRONE BROG BARRERA & BAYLINSON

A PROFESSIONAL CORPORATION

COUNSELLORS AT LAW

327 CENTRAL AVENUE, SUITE 200, LINWOOD, NJ 08221

PHONE: 609-601-1775 FAX: 609-601-8440

PHILIP J. PERSKIE\*  
STEVEN J. BROG\*\*  
CHRISTOPHER M. BAYLINSON\*\*\*  
ALEXANDER J. BARRERA\*

COUNSEL TO THE FIRM  
STEVEN P. PERSKIE\*

RICHARD S. MAIRONE  
(1968-2023)

\*MASTER OF LAWS TAXATION  
\*\*ALSO MEMBER OF NY BAR  
\*\*\*CERTIFIED CIVIL TRIAL ATTORNEY

April 3, 2024

### Via Hand Delivery

Palma Shiles, Administrator  
Margate Planning Board  
9001 Winchester Avenue  
Margate, NJ 08402

Re: Application of Geoffrey and Michelle Greenberg  
115 South Lancaster Avenue  
Block 12, Lot 8  
Margate, New Jersey  
Our File No.: 9849-2

Dear Ms. Shiles:

We represent Geoffrey and Michelle Greenberg with respect to their application to the Margate Planning Board scheduled to be heard on April 25, 2024. The Greenbergs make application requesting "C" variance relief for roof slope, eave height and dormer size to construct a new single family home. In support of the application, the following is enclosed for the Planning Board's review and consideration:

1. (18) – Application for Action by Planning Board with Addendum and Checklist;
2. (18) – Architectural Plan prepared by Asher Slaunwhite + Partners dated November 29, 2023 revised through March 8, 2024, consisting of Sheets V-1.0 through V-4.0;
3. (18) – Staff Committee Application and Action;
4. (18) – Zoning Board of Adjustment Resolution #20 of 2009;
5. (18) – Photographs of property;
6. (1) – 200 foot property owners' list (*updated 200 foot property owners' list requested*);
7. (1) – Confirmation of paid taxes, water and sewer;
8. (1) – Our firm's check in the amount of \$250.00 representing the application fee.

PERSKIE MAIRONE BROG BARRERA & BAYLINSON  
A PROFESSIONAL CORPORATION

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Palma Shiles, Administrator  
Margate Planning Board  
April 3, 2024  
Page 2 of 2

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Should you require any further information in advance of the April 25th hearing date, please do not hesitate to contact me.

Thank you as always for your kind attention and usual courtesies.

Very truly yours,

PERSKIE MAIRONE BROG  
BARRERA & BAYLINSON, P.C.

BY: 

CHRISTOPHER M. BAYLINSON  
[cmbaylinson@pmbb.com](mailto:cmbaylinson@pmbb.com)

CMB:dbm  
Enclosures

c: Geoffrey and Michelle Greenberg (via email) (w/ Application)  
Dominic Schuster, Sr. Associate (via email) (w/ Application)

S:\G\Greenberg, Geoffrey (9849)\Mat 2 - Margate Planning Bd. (Lancaster Ave.)\Shiles (application submission) 4-2-24 CMB ltr.docx

LAND USE

Variance Application Checklist

VARIANCE CHECKLIST (Page 1 of 1)		Submitted	Waiver Requested
1.	Submit the following documents with the Standard Development Application: a. Copy of an area map showing all lots within 200 feet of the property. b. List of names, addresses, lot and block numbers, as they appear on the official tax records of the City, of all owners of property within 200 feet of the property affected by the application and upon whom the notice must be served in the manner provided by law. c. Copy of professional survey at a scale not smaller than 1" = 100' nor larger than 1/8" = 1'; clearly indicating the buildings and improvements thereon with all front, side and rear yard dimensions and setbacks from the property lines. d. Copies of subdivision, site plan or conditional use applications when applicable. e. Certification that taxes are paid.	a. ✓ b. ✓ ✓ d. N/A e. ✓	
2.	If the survey is more than one year old, attach certification of the applicant or owner that the survey accurately represents the status of the premises and all improvements at the time of filing for the variance, and show any proposed changes with all dimensions including enlargement of existing footprint, if applicable.	✓	
3.	A statement containing the following information: a. Date of acquisition of property and from whom. b. The number of dwelling units in existing building(s). c. State whether the applicant or owners own or are under contract to purchase any adjoining lands. Set forth lot and block number(s). d. State whether the application is or is not to be accompanied by a separate application for subdivision, site plan or conditional use approval.	a. ✓ b. N/A c. N/A d. N/A	
4.	Ten (10) folded copies of a plot plan, map or survey.	✓	
	Checklist prepared by: <u>Christopher M. Baylinson, Esq.</u> Checklist reviewed by City: _____ Application found complete on: _____ Application found incomplete on: _____	Date: <u>4/3/24</u> _____ Date: _____ _____	

Application of Geoffrey and Michelle Greenberg  
 115 South Lancaster Avenue  
 Block 12, Lot 8  
 Margate, New Jersey

N/A Not applicable

APPLICATION FOR ACTION BY PLANNING BOARD  
MARGATE, NEW JERSEY

PLEASE  
TYPE OR  
PRINT

1. **Date of Application:** April 3, 2024

**2. Zoning District:**

S-60	Single Family Residential	<input type="checkbox"/>	MF	Multi-Family Residential	<input type="checkbox"/>
S-60-WF	Single- Family Residential	<input type="checkbox"/>	CBD	Central Business District	<input type="checkbox"/>
S-50	Single Family Residential	<input type="checkbox"/>	C-1	Commercial	<input type="checkbox"/>
S-40	Single Family Residential	<input type="checkbox"/>	C-2	Commercial/Business	<input type="checkbox"/>
S-40-WF	Single-Family Residential	<input type="checkbox"/>	WSD	Waterfront Special District	<input type="checkbox"/>
S-30	Single Family Residential	<input checked="" type="checkbox"/>	R	Riparian	<input type="checkbox"/>
S-25	Single Family Residential	<input type="checkbox"/>	WAPC	Washington Avenue Pedestrian Corr.	<input type="checkbox"/>
S-25 (HD)	Historic Single Family Residential	<input type="checkbox"/>	WSPA	Government and Open Space	<input type="checkbox"/>
TF	Two-Family Residential	<input type="checkbox"/>	I	Institutional Use	<input type="checkbox"/>
B	Beach	<input type="checkbox"/>			

**3. Subject Parcel:**

Street Address(es) 115 South Lancaster Avenue  
 Block Number 12 Lot No(s) 8  
 Total Area (in square feet) 8,176.9 s.f.  
 Frontage: 130' irregular  
 Depth: 62.7' irregular

**4. Information about the Applicant:**

Full name(s) Geoffrey and Michelle Greenberg  
 If Business Entity, Names of Officers or Principals (Submit disclosure statement if appropriate)  
 \_\_\_\_\_  
 \_\_\_\_\_  
 Local Residence Address \_\_\_\_\_ Zip \_\_\_\_\_  
 Other Residence Address 3649 Carlton Pl., Boca Raton, FL Zip 33496  
 Business Address \_\_\_\_\_ Zip \_\_\_\_\_  
 Phone Number(s) (include area code);  
 Email Address ggtoys55@gmail.com  
 Business \_\_\_\_\_ Fax \_\_\_\_\_ Cell Phone (215) 801-3126



**10. If Site Plan Action is Required:**

-What is the present use of the site and building(s)?

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

-How will this be changed?

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**11. If Subdivision Action is Required:**

-After conferring with the City Tax Assessor, provide lot numbers of new lot(s), dimensions, and area of each: (use extra pages, if necessary)

Lot No(s)	Dimension(s)	Area(s)
_____	_____ x _____	_____ S.F.
_____	_____ x _____	_____ S.F.
_____	_____ x _____	_____ S.F.

-Purpose of the Subdivision

To sell lot(s)

To build and sell homes (or other buildings)

Other (please explain): \_\_\_\_\_

**12. If Variances are Required:**

(Note: Properly scaled site plan must show all dimensions relevant to variance analysis)

-Current use of lot(s) and building(s): Single family home

-Proposed use: Construction of new single family home

-If a "D" or "Use" Variance is required, please explain: N/A

-Regarding any dimensional variances required, please fill out the following chart:

Variance	Requirement of District	Present Condition	Proposed Condition
Roof pitch	5:12	N/A	1/4":12
Bldg setback - Struc.	0	N/A	1'
Eave height	18'	N/A	0'

**13. Prior Action:** Please detail any prior hearing and/or decision relevant to this application. Supply date, name of Board, and results. (IF YOU ARE NOT SURE PLEASE CHECK WITH EITHER BOARD ADMINISTRATOR.) If no prior action, write "none".

See attached Resolution #20 of 2009

**14. County and Other Agency Actions** (Provide necessary dates and decisions):

**Site Plan:**  
N/A


**Subdivision:**  
N/A

**Other:**  
N/A

**15. Space for Narrative:** In this space you must provide a general narrative description of what is being proposed, as well as any information not otherwise set forth above which may be relevant to the application, including justifications, clarifications and extenuating circumstances. FAILURE TO PROPERLY COMPLETE THIS SPACE WILL CONSTITUTE AN INCOMPLETE APPLICATION.

Please see attached Addendum to Application.

**16. Signature of Applicant(s):**

 \_\_\_\_\_ Date \_\_\_\_\_  
Christopher M. Baylinson, Esq. - Attorney for Applicant(s)  
\_\_\_\_\_ Date \_\_\_\_\_

**17. This space for Board Administrator:**

-Staff Committee action took place  
\_\_\_\_\_ and case assigned to  
the Planning Board for \_\_\_\_\_ or  
  
-This application received by the  
Planning Board Administrator on  
\_\_\_\_\_  
  
By: \_\_\_\_\_

**18. Notarized Statement by Applicant:**

State of New Jersey     } ss.  
County of Atlantic     }  
\_\_\_\_\_, being duly  
sworn according to law, deposes and says, that  
the statements contained in the above application  
and the statements contained in the papers  
submitted herewith are true.  
Sworn to and subscribed before me this \_\_\_\_\_  
day of \_\_\_\_\_.

\_\_\_\_\_

## **ADDENDUM TO APPLICATION**

**Application of Geoffrey and Michelle Greenberg  
115 South Lancaster Avenue  
Block 12, Lot 8  
Margate, New Jersey**

Geoffrey and Michelle Greenberg are the owners of property located at 115 South Lancaster Avenue, identified on the tax map as Lot 8 in Block 12. The property is beachfront in the S-30 single family home zoning district. The Greenberg's lot is oversized at 8,176.9 square feet with 130' of frontage on Lancaster Avenue and 62.7' of depth along the bulkhead. The property is improved with the Greenberg's home previously approved by the Zoning Board.

The Greenbergs propose to build a new home on the property and are requesting variance relief for various roof elements which would allow a flat roof at the third floor. All other aspects of zoning comply. The following variances are requested:

1. Roof slope;
2. Eave height;
3. Dormer size.

The roof slope and dormer control provisions of Margate's ordinance are designed to prevent flat roofs and ensure that the third floor does not extend vertically directly from the exterior walls of the second floor. For the most part, the sentiment to preclude flat roofs arose from a particular architectural style that was prevalent throughout Margate in the mid-1970s through the 1980s. A very popular design at the time was a home clad in stucco extending three stories from a foundation to a flat roof with no breaks in the vertical wall. A very popular local architect at the time, and equally nice person, Robert Johnson, AIA, showcased this design with the development of the Interlude subdivision now known as Bayside and Seaside Court. A substantial majority of the homes were built by the developer with what soon came to be known as the "stucco box". Essentially, a rectangle protruding three stories from the ground with a roof as flat as the floor below. The lots had very little landscaping and coverage was excessive. Soon this design was popping up from Point Drive in Longport to Fredericksburg Avenue in Margate, mostly on the south side and along the bay.

With the proliferation of the "stucco box", the area started to lose its charm having always enjoyed an eclectic mix of architectural styles. The "stucco box" started to dominate and the planning board and zoning board officials took notice and took action. From the early 2000s up to the present, Margate's ordinance has evolved to preclude flat roof designs primarily due to the history of the design that Margate was exposed to.

Times have changed. Flat roof designs are emerging as one of the more popular home designs from the California coast to the mountains to the coastal communities of New England, New York and New Jersey. These homes, sometimes referred to as "coastal contemporary", have flat roof elements with nothing like the old "stucco box". The newer design incorporates oversized windows throughout,



natural materials, outside living space, contrasting exterior finishes, steel and cable railings designed to merge with the surrounding landscape.

Mark Asher, AIA is a proponent of the design and was retained by the Greenbergs for this project. As can be seen from the plans submitted, the home proposed by the Greenbergs is a far cry from the old "stucco box". The entire home meets all of Margate's zoning controls but for the flat roof on the third floor. This is the only element of the house needing relief. These controls are designed so that the third floor tucks in away from the perimeter of the second floor roof. The flat roof at the third floor would therefore cast no more shadow or block any more light than a traditional roof design. When analyzing the proposed design versus the required design, the only impact that arises is the opinion or taste of the homeowner and whomever looks at the house. Whether someone likes the "coastal contemporary" design or not, the roof has no greater impact on light, air and open space than a required roof with eaves, dormers and 5:12 slope to the ridge.

The Board with its professionals has accomplished what was intended, to eliminate the proliferation of the "stucco box". A former design trend should not result in precluding a trending design concept light years different from what originated in the 1970s. The design of the Greenberg's home has no greater impact on the surrounding properties than one with a compliant roof design. The Greenbergs would therefore respectfully request that the variances sought be granted.



**City of Margate City  
Staff Committee Action - Planning Board**

<b>Block</b>	<b>Lot</b>	<b>Applicant Name</b>
12	8	Geoffrey and Michelle Greenberg
<b>District</b>	<b>Address of Subject Application</b>	
S-30	115 South Lancaster Avenue	

Dear (Name of Submitting Party) **Christopher M. Baylinson, Esq.**

Your submittal was considered at the Staff Committee meeting of **Tuesday, January 16, 2024**

The action(s) required prior to building permit are:

Staff committee met and discussed the application and agree with the variance identified plus the possibility that others may exist.

The matter will be placed on the agenda of the Planning Board at 6:30PM on **Thursday, February 22, 2024**

Applications will be accepted on a first-come first-served basis. If the agenda becomes over-crowded, you will be rescheduled the following month. If you decide, for whatever reason, not to appear on this date, you must notify the Board Administrator as early as possible. The following month's agenda cannot be guaranteed.

The following conditions and special considerations must be addressed as part of your application to the Board:

Complete application and any waivers. Please confirm that the area of the half story 5 feet ceiling height or more is 50% or less of the second floor. A variance is also needed for not meeting the half story definition by not being fully contained within the roof of the second floor. A variance is needed for roof eave height greater than 18". A variance is needed for area of dormer being greater than 40% (entire half story is a dormer).

**APPLICATION FEES:**

<b>D Variance:</b>	\$0.00	<b>Court Reporter:</b>	\$0.00
<b>C Variance:</b>	\$250.00	<b>Other:</b>	\$0.00
<b>Site Plan:</b>	\$0.00		\$0.00
<b>Subdivision:</b>	\$0.00		\$0.00
<b>Conditional Use Permit:</b>	\$0.00		\$0.00

Applicant shall combine all application fees into one separate check made out to the City of Margate. Escrow fees shall be a separate check made out to the City of Margate. NOTE: If an Escrow deposit is requested, a W9 form must be submitted with the Escrow check. Any Escrow funds will be refunded to the name and address indicated on the W9 form.

Please note that in proceeding further with the formal Board Application, you are responsible for satisfying all of the checklist particulars in the appropriate section(s) of the Administrative Regulations. The instructions and checklist for your particular application can be found on the following pages of this booklet: **1-19**

You must also comply with the more detailed requirements of the Margate City Land Development Ordinance.

In order for you to be able to appear on the Board Agenda as per the above date, all application material must be submitted by 11:00am, **Wednesday, January 31, 2024**

Palma Accardi  
Planning Board Administrator  
Wednesday, January 17, 2024

**City of Margate City**  
**Staff Committee Review Application**  
Please Type or Print Neatly • \$25 Submittal Fee

<b>Office Use Only:</b>	Date Submitted: _____ Paid: _____ Check/Receipt #: _____	Received By: _____ Board Administrator or Zoning Officer
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Staff Committee meetings are held as needed. Contents must comply in all particulars with the Administrative Regulations for Processing Planning Board Applications, sections on Staff Committee Review. The Board Administrator and other City Hall staff will answer reasonable questions regarding this procedure. They cannot, however, fill out these forms for you.

1. Date of Application: December 4, 2023
2. Submitted by – Name: Christopher M. Baylinson, Esq. Phone No.: (609) 601-1775  
Address: 327 Central Avenue, Suite 200, Linwood, NJ 08221  
Email Address: cbaylinson@pmbb.com
3. If the party submitting this form is other than the potential Applicant for Board action (attorney, architect, builder, engineer, etc.), then who would the APPLICANT be?  
Name: Geoffrey and Michelle Greenberg Phone No.: (215) 801-3126  
Address: 3649 Carlton Pl., Boca Raton, FL 33496  
Email Address: ggtoys55@gmail.com
4. The applicant would be (Check one):  
 Owner  Buyer under Agreement of Sale  
 Tenant  Other: \_\_\_\_\_
5. If the applicant for Board action would be Tenant or Buyer, who is the present OWNER?  
Name: \_\_\_\_\_ Phone No.: \_\_\_\_\_  
Address: \_\_\_\_\_

6. **Proposed Action is Located as Follows:**  
Street Address: 115 S. Lancaster Ave. Block: 12 Lot(s): 8  
Zoning District: S-30

7. Describe site (and buildings, if any) as existing now: (THIS SECTION MUST BE COMPLETED)  
Single family home  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

8. Answer the following as to:

Existing Condition

Proposed Condition

a. Size and Dimension of Lot:

Please see Zoning Schedule on Plan

b. Size, Dimensions of Buildings:

c. Height of Buildings (Feet):

d. Height of Buildings (Stories):

e. % of Coverage on Land:

f. Front Yard Setback:

g. Rear Yard Setback:

h. Side Yard Setbacks:

9. According to the Administrative Regulations, a scaled drawing must accompany this Application. If available, a survey would be appreciated. In addition, use this space to provide a detailed narrative description of the proposed action. Attach additional paper, if necessary:

(THIS SECTION MUST BE COMPLETED)

Applicants propose to construct a new single family home. "C" variance relief is requested for roof slope in order to allow a flat roof design

10. Although the Staff Committee will determine the correct legal steps, what are the actions requested. (check more than one, if applicable):

Subdivision

Site Plan

C-Variance(s)

Conditional Use Permit

D-(Use) Variance

Other: \_\_\_\_\_

11. Which variances are needed, if any? Roof slope

12. IF THERE HAS BEEN ANY PREVIOUS STAFF COMMITTEE OR FORMAL BOARD APPLICATION AND/OR ACTION ON THIS PROPOSAL PROPERTY, PLEASE ATTACH RELEVANT DOCUMENTS, AND PROVIDE INFORMATION HERE: See Resolution #20 of 2009 attached

Signature of Submitting Party: \_\_\_\_\_

Print or Type Name: Christopher M. Baylinson, Esq. - Attorney for Applicant(s)

**RESOLUTION OF FINDINGS AND CONCLUSIONS**  
**ZONING BOARD OF ADJUSTMENT OF MARGATE CITY**

**RESOLUTION #20 OF 2009**

WHEREAS, it has been determined factually by the Zoning Board of Adjustment of the City of Margate City that GEOFFREY GREENBERG has applied for "C" Variance relief for a rear yard setback of 7 ft. 3 in. and height of a shed of 9 ft. 10 in. in order to construct a shed and attached to the rear right corner of the 2-1/2 story house presently under construction at 115 S. Lancaster Avenue, Block 12, Lot 8, which premises is located in an S-30 Zone; and

WHEREAS, the applicant was represented by Christopher Baylinson, Esquire; and expert testimony was presented by Donald Zacker, a licensed Professional Architect and Professional Planner; and the report of the Land Use Administrator was read into the record by Roger Rubin; and

WHEREAS, the Board, after carefully considering the evidence presented by the applicant and of the adjoining property owners and general public, has made the following additional factual findings:

- (1) The applicant is the owner of the subject premises;
- (2) All notice requirements have been met;
- (3) The taxes on the subject property are current;

AND WHEREAS, the purposes of the Land Use Act would be advanced by a

deviation from the Zoning Ordinance requirements and the benefits of the deviation would substantially outweigh any detriment for the following reasons:

- (1) Approval of this renovation will provide a significant aesthetic enhancement to the external appearance of the structure.
- (2) The proposed addition will preserve the existing light, air and open space for the neighboring properties.

AND WHEREAS, the Board has determined that the relief requested by the applicant can be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of the Zoning Ordinance of the City of Margate City for the following reason:

- (1) Testimony indicated that the proposed addition will fit in with the developmental pattern of this neighborhood.

AND WHEREAS, a Resolution to grant the subject application was Introduced by Mr. Guerreri and Moved by Mr. Patterson;

NOW, THEREFORE, BE IT RESOLVED by the Zoning Board of Adjustment of the City of Margate City on this 9<sup>th</sup> day of July, 2009, that approval of the application of GEOFFREY GREENBERG for "C" Variance relief for a rear yard setback of 7 ft. 3 in. and height of a shed of 9 ft. 10 in. in order to construct a shed and attached to the rear right corner of the 2-1/2 story house presently under construction, as aforementioned, be granted.

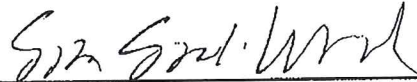
The Vote Was: Five (5) in Favor, None (0) Opposed

Those in Favor: Santori, Guerreri, Patterson, Federman, Sinderbrand

Those Opposed: None

**ZONING BOARD OF ADJUSTMENT OF  
MARGATE CITY**

By:



**STEVE SINDERBRAND, CHAIRPERSON**

**DATED: JULY 9, 2009**

NOTICE OF DECISION

MARGATE CITY ZONING BOARD OF ADJUSTMENT

TO WHOM IT MAY CONCERN:

PUBLIC NOTICE is hereby given to all persons that a public hearing was held on July 9, 2009 at the Municipal Building, Margate City, at which hearing the application of GEOFFREY GREENBERG was heard for "C" Variance relief for a rear yard setback of 7 ft. 3 in. and height of a shed of 9 ft. 10 in. in order to construct a shed and attached to the rear right corner of the 2-1/2 story house presently under construction at 115 S. Lancaster Avenue, Block 12, Lot 8, Margate City, New Jersey.

The application of the aforementioned was granted by the members of the Zoning Board who were present. The Resolution is on file and available for inspection in the Municipal Building, Clerk's Office, Margate City, New Jersey.

MARGATE CITY ZONING BOARD OF ADJUSTMENT

BY: \_\_\_\_\_

AGNES SCHWARTZ, ZONING BOARD ADMINISTRATOR

**NOTICE OF DECISION  
MARGATE CITY ZONING BOARD OF  
ADJUSTMENT**

**TO WHOM IT MAY CONCERN**

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The application of the aforementioned was granted by the members of the Zoning Board who were present. The Resolution is on file and available for inspection in the Municipal Building, Clerk's Office, Margate City, New Jersey.

Margate City Zoning Board  
Of Adjustment  
Agnes Schwartz, Zoning Board  
Administrator  
Printer Fee: \$18.81  
#0090542411  
Pub Date: September 18, 2009



**Application of Geoffrey and Michelle Greenberg  
115 South Lancaster Avenue  
Block 12, Lot 8  
Margate, New Jersey**

**Photographs of Property**







Office of the Tax Assessor  
Municipal Building  
9001 Winchester Ave.  
Margate City, NJ 08402  
P: 609-822-1950  
F: 609-487-1142

RECEIVED

JAN 25 2024

PERSKIE MAIRONE BROG  
BARRERA & BAYLINSON

James W. Manghan, CTA  
Tax Assessor

**Christopher M. Baylinson**  
**Perskie Mairone**  
**Brog Barrera & Baylinson**  
**327 Central Ave, Suite 200**  
**Linwood, NJ 08221**

**Block: 12 Lot: 8**  
**Location: 115 S Lancaster Ave**  
**Date: January 23, 2024**

A handwritten signature in black ink, appearing to read "James W. Manghan", is written over a horizontal line.

**James W. Manghan, CTA**  
**Tax Assessor**

**Your file No: 9849-2**

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Tax list good for 60 days per Margate City Code Book (170-5)

[www.margate-nj.com](http://www.margate-nj.com)

Block Lot	Property Location Additional Lot Additional Lot	Property Class	Owner Address City, State	Zip Code
11.02 4	107 S KENYON AVE	2	REASONS, BRYAN M & CARRIE S 1048 BROADVIEW ROAD WAYNE, PA	19087
11.02 5	109 S KENYON AVE	2	KORMAN TRUST, LEONARD I 2 NESHAMINY INTERPLEX 305 TREVOSE, PA	19053
11.02 6	111 S KENYON AVE	2	GREENBERG, SHEILA & MARVIN 462 HICKORY RD HUNTINGDON VALLEY, PA	19006
11.02 7	PUBLIC BEACH	15C	CITY OF MARGATE 9001 WINCHESTER AVE MARGATE, NJ	08402
11.02 14	112 S KNIGHT AVE	2	POPOWICH TRUST, WENDY & DEBORAH 112 S KNIGHT AVENUE MARGATE, NJ	08402
12 4	107 S LANCASTER AVE	2	STEIN TRUST@H & STEIN TRUST@G 5380 N OCEAN DR #16D RIVIERA BEACH, FL	33404
12 5	109 S LANCASTER AVE	2	SUNDHEIMER, GERTRUDE @S PREIS 44 BRENTWOOD DR EAST HANOVER, NJ	079362405
12 6	111 S LANCASTER AVE	2	SHOFIELD, DINA M & ABDALA, ALBERT P 902 N BAILEY ROAD THORNDALE, PA	19372
12 7	113 S LANCASTER AVE	2	PETERSON, J & DEININGER, M PO BOX 276 EL VERANO, CA	95433
12 8	115 S LANCASTER AVE	2	GREENBERG, GEOFFREY & MICHELLE 24 DAVID DRIVE NEWTOWN, PA	18940
12 12	106 S KENYON AVE	2	SACCO, ALFRED & ROCHE, MARY 106 S KENYON AVENUE MARGATE, NJ	08402
12 13	108 S KENYON AVE	2	BRANDES, PAUL & EINHORN, KIM 1236 KNOX RD WYNNWOOD, PA	19096
12 14	110 S KENYON AVE	2	SWIRSKY-SACCHETTI, THOMAS & DEBORAH 263 BEECH HILL ROAD WYNNWOOD, PA	19096

Block Lot Qual	Property Location Additional Lot Additional Lot	Property Class	Owner Address City, State	Zip Code
12 15	112 S KENYON AVE	2	TRUDGEON, MICHAEL & TRACY 632 SPRUCE LANE VILLANOVA, PA	19085
12 16	116 S KENYON AVE	2	GREEN, MARK A 8403 RAPLEY RIDGE LANE POTOMAC, MD	20854
12 17	114 S KENYON AVE	2	HUDIS TRUST @ HUDIS, WAYNE 20 TALL OAKS DR LANGHORNE, PA	19053
13 4	107 S MANSFIELD AVE	2	BERGER, LEONARD & BARBARA 107 S MANSFIELD AVE MARGATE, NJ	08402
13 5	109 S MANSFIELD AVE	2	ZAMARIN, BARBARA 210 S 25TH ST #401 PHILADELPHIA, PA	19103
13 6	111 S MANSFIELD AVE	2	JTS ASSOCIATES LLC 359 BROOKWAY RD MERION STATION, PA	19066
13 7	113 S MANSFIELD AVE	2	FRANKEL, LYNNE 1845 WALNUT STREET #2345 PHILADELPHIA, PA	19103
13 8	117 S MANSFIELD AVE	2	COLLIS, TONI M 3758 BAY ROAD STREET, MD	21154
13 12	106 S LANCASTER AVE	2	LEVY, FRANCES B & LEON L 1601 LOCUST ST 11TH FL PHILADELPHIA, PA	19102
13 13	108 S LANCASTER AVE	2	SELVER, STEPHEN & MERI 235 CHURCHILL ROAD TENAFLY, NJ	07670
13 14	110 S LANCASTER AVE	2	BERGER FAMILY TRUST, %ALAN BERGER 4250 NORWOOD LANE N PLYMOUTH, MN	55442
13 15	112 S LANCASTER AVE	2	GROSSMAN TRUST, LEONARD & SALLY 1424 GLEN ECHO LANE DRESHER, PA	190251119
13 16	114 S LANCASTER AVE	2	SELNICK, PAUL 11049 GAITHER FARM ROAD ELLCOTT CITY, MD	21042

Block  
Lot  
Qual

Property Location  
Additional Lot  
Additional Lot

Property  
Class

Owner  
Address  
City, State

Zip Code

13  
17

116 S LANCASTER AVE

2

LANCASTER 116 LLC  
255 COSTANERA ROAD  
CORAL GABLES, FL

33143

UTILITIES TO BE NOTIFIED WITH TAXLIST

ATLANTIC CITY ELECTRIC  
5100 HARDING HIGHWAY, SUITE 399  
MAYS LANDING, NJ 08330

SOUTH JERSEY GAS COMPANY  
VP CONSTRUCTION  
1 SOUTH JERSEY PLAZA, RT. 54  
FOLSOM, NJ 08037

COMCAST CABLE, GREG SMITH, PM  
901 LEEDS AVENUE  
ABSECON, NJ 08201

CITY OF MARGATE  
PUBLIC BEACH  
9001 WINCHESTER AVENUE  
MARGATE, NJ 08402

ITEMS PRINTED.....31



TARA J. MAZZA, CTC  
TAX COLLECTOR

## OFFICE OF THE TAX COLLECTOR

MUNICIPAL BUILDING  
9001 WINCHESTER AVENUE  
MARGATE CITY, NEW JERSEY 08402  
(609) 822-2508  
FAX (609) 822-8316  
E-mail: mazza\_tara@margate-nj.com

RECEIVED

JAN 25 2024

PERSKIE MAIRONE BROG  
BARRERA & BAYLINSON

Date: January 22, 2024

To Whom It May Concern:

I HEREBY CERTIFY THAT the TAX for Q1 2024;

And the WATER and SEWER charges for the year 2023

Are paid on property located at 115 S. Lancaster Ave.

Assessed to Geoffrey & Michelle Greenberg

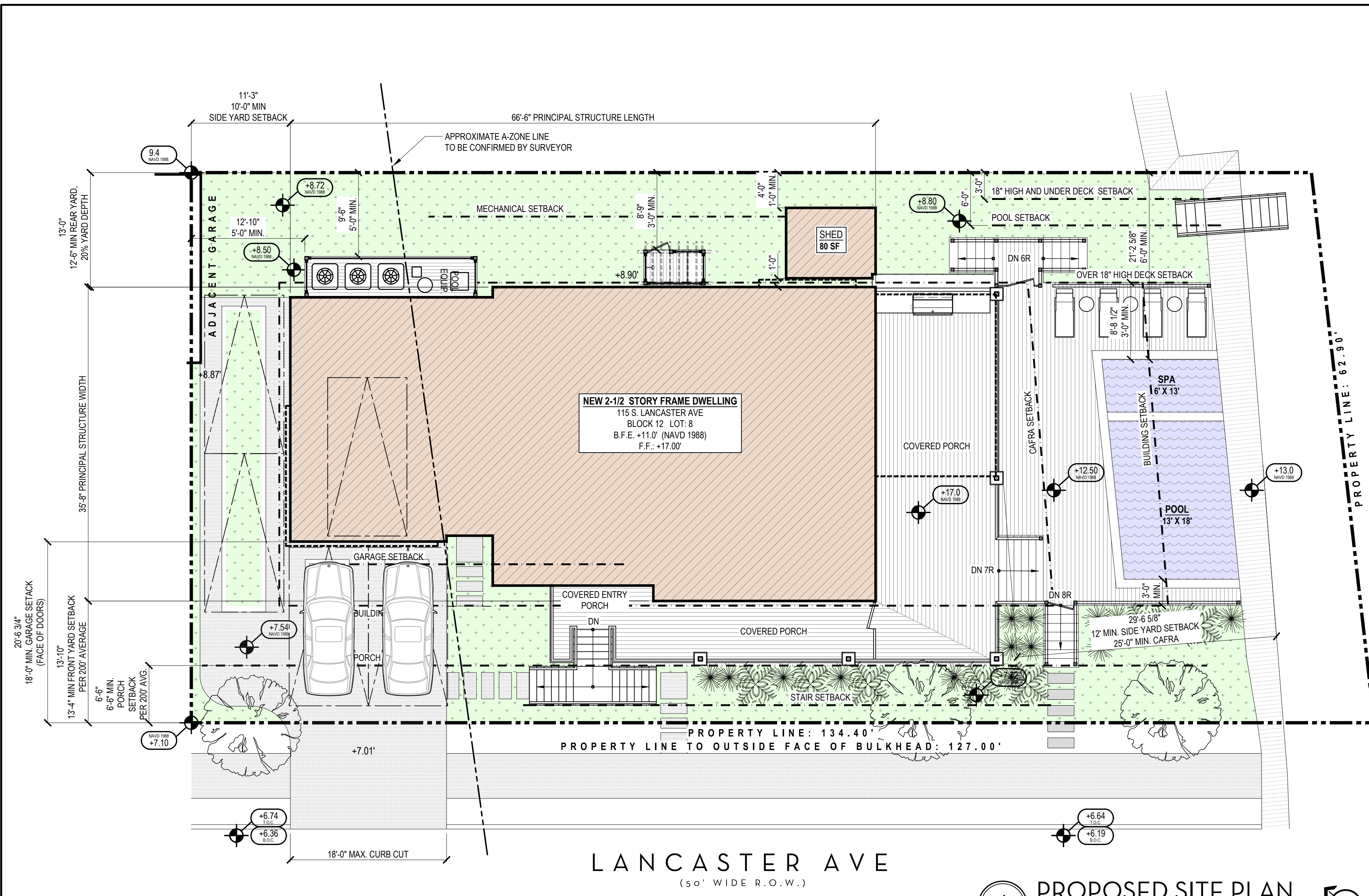
Designated as BLOCK 12 Lot 8

This certification expires on April 30, 2024

Tara J Mazza, CTC  
Tax Collector  
Mazza\_tara@margate-nj.com

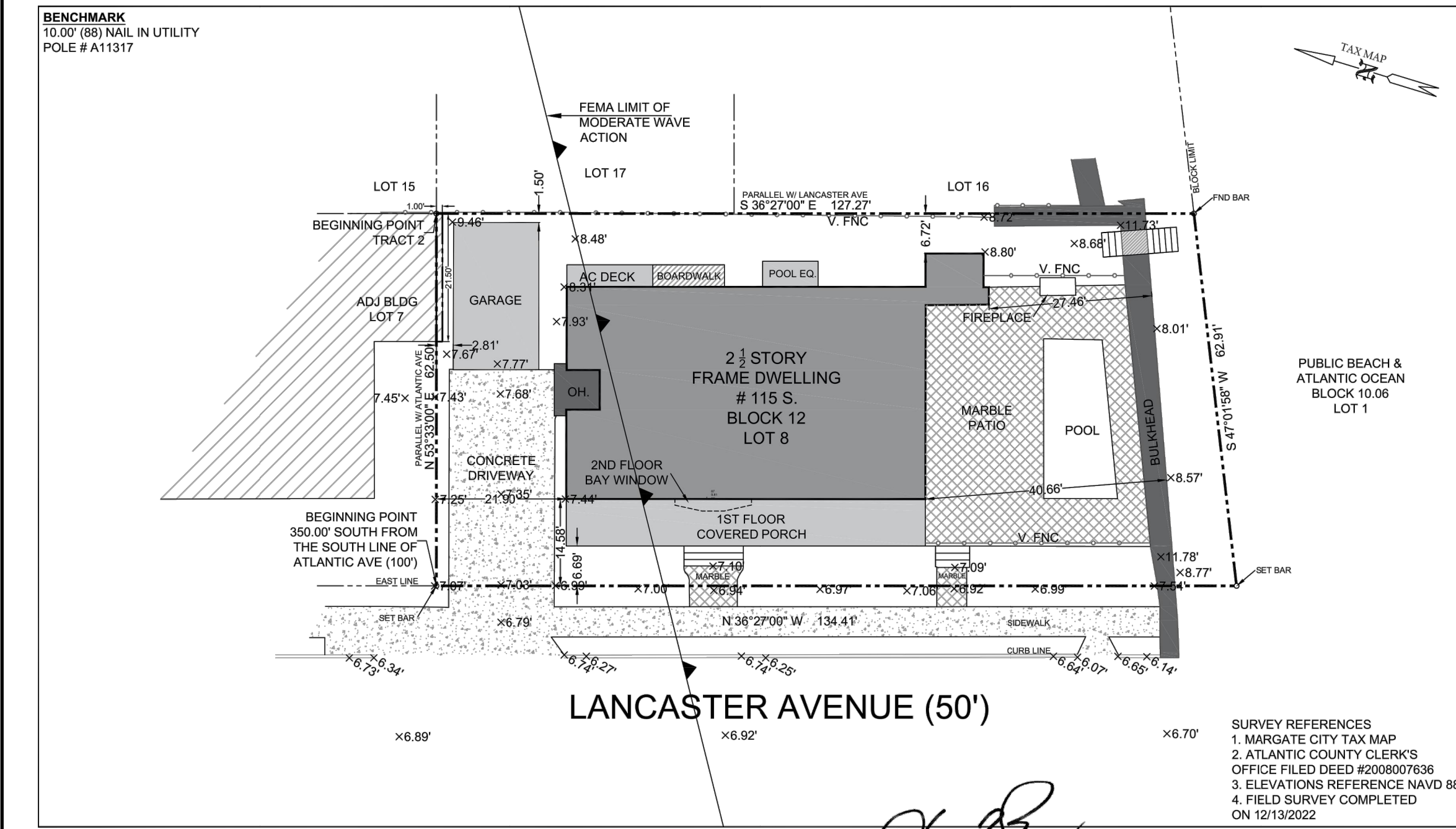
Per *TJM*





LANCASTER AVE  
(50' WIDER.O.W.)

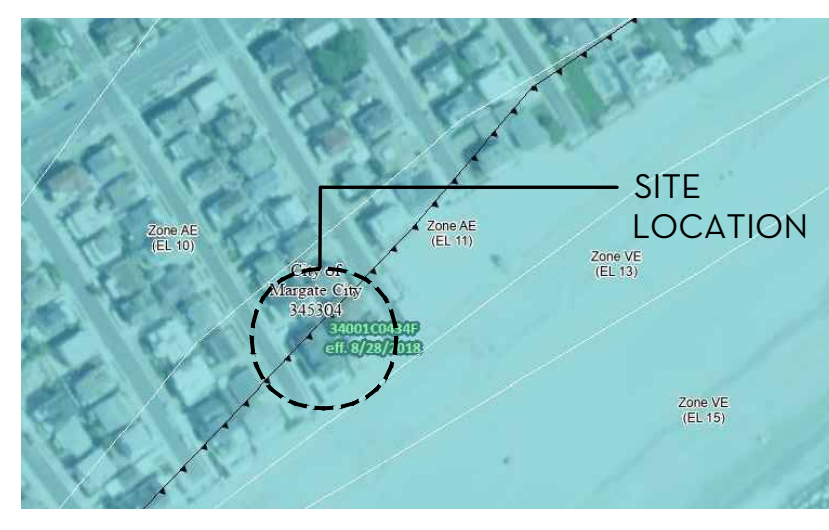
1 PROPOSED SITE PLAN  
SCALE: 1/8" = 1'-0"



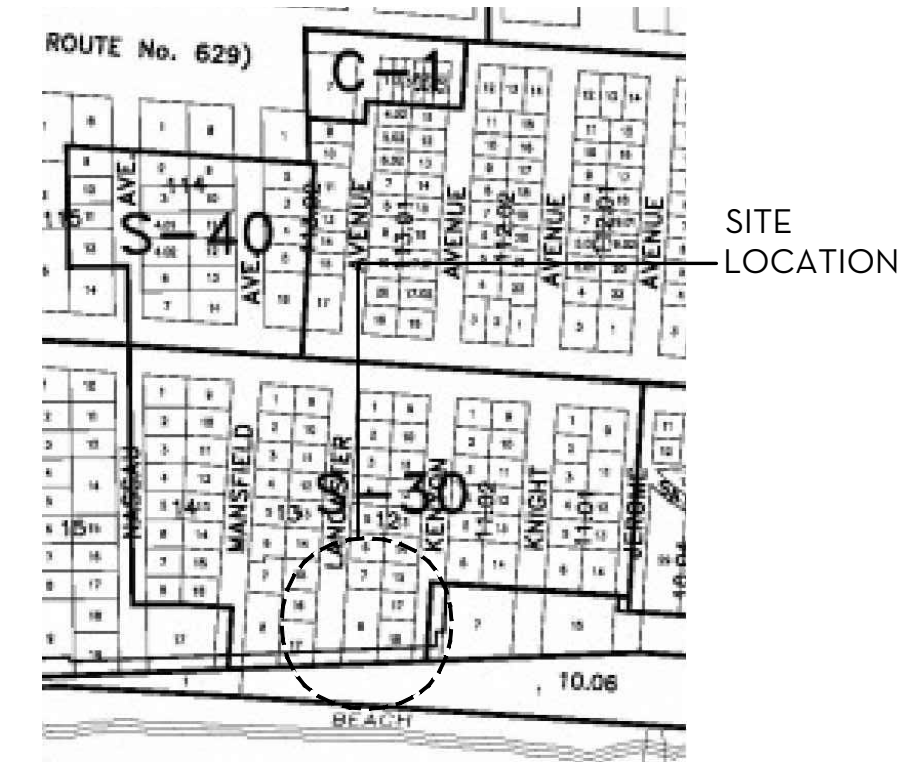
2 EXISTING SURVEY  
SCALE: NTS



3 LOCATION MAP  
SCALE: NTS



5 FEMA FLOOD MAP  
SCALE: NTS



4 ZONING & TAX MAP  
SCALE: NTS

ZONING CONFORMANCE SCHEDULE - S-30					
115 S LANCASTER AVE - CITY OF MARGATE, NJ					
BLOCK 12 - LOT 8					
FEMA ZONE COASTAL A (B.F.E.: +11.00' NAVD 1988)					
NO.	ITEM	PERMITTED	PROPOSED	VARIANCE?	NOTES
1.	Lot Description				
a.	Use	S-30	S-30	NO	
b.	Minimum Lot Area	3,000 sf	8,176.9 sf	NO	includes area outside of bulkhead
c.	Minimum Lot Frontage	40'	134.40'	NO	
2.	Principal Building & Lot Requirements				
a.	Front Yard Setback (building) - Lancaster Ave	average within 200'; 5'-0" min.	13.83' (13'-10")	NO	average setback = 13.33' - Survey, attached garages 18' to allow for parking
b.	Front Yard Setback (porch)	average within 200'; 5'-0" min.	6.5' (6'-6")	NO	average setback = 6.5' - Ponzo Survey - to porch column.
c.	Side Yard Setback	10'-0" min.	11.25' (11'-3")	NO	
d.	Side Yard Setback	12'-0" min.	27.75' (27'-9")	NO	to porch column
e.	Total Side Yards	22'-0" max.	39.0' (39'-0")	NO	
f.	Rear Yard Setback	greater of 20% lot depth or 10'-0" min.	13'-0" (13.0')	YES	20% OF 62'-6" = 12'-6" setback
g.	Maximum Building Height	Height Zone C: +30'-0" above first floor	29.67' (29'-8")	NO	
h.	Maximum Building Coverage	30% (2,453 sf)	29.99 % (2,452.8 sf)	NO	excludes porches and decks
i.	Front Yard Landscape Requirement	50% min. (888.71 sf)**	54.85 % (974.87 sf)	NO	includes beach area - 8,176.9sf as per ** note on Schedule B-1 - 1,777.4 sf front yard - reduced to 50% for front stairs.
j.	Total Landscaping Coverage	35% min. (2,862 sf)***	35% (2,862.4 sf)	NO	includes beach area - 8,176.9sf as per ** note on Schedule B-1
k.	Finish Floor Elevation	4' above BFE were BFE is +11.0' = +15.0'	+17.0'	NO	finish floor 9' from average existing grade at house
l.	Minimum Roof Pitch		5:12	14':12"	YES Flat roof design
3.	Parking and Access				
a.	Off-Street Parking	3****	3+	NO	9' x 18'
4.	Accessory Building Requirements - SHED				
a.	No required Setbacks	1'-0"	5'-0"	NO	
b.	Accessory Building Max. Size	80 sf	80 sf	NO	
c.	Accessory Building Max. Height	9'-0"	9'-0"	NO	as measured from adj. finished grade
d.	Accessory Building Setback to Principal Structure	0'-0"	1'-0"	YES	
e.	Outdoor Shower Setbacks	3'-0" min. rear	8.75' (8'-9")	NO	51'-6" side yard setback
f.	Outdoor Shower Max. Height	9'-0"	8'-0"	NO	as measured from adj. finished grade
g.	Max. Shower Dimensions	4'-0" x 8'-0"	4'-0" x 7'-0"	NO	
6.	Pool Requirements				
a.	Side Yard Setback	0'-0" min.	0'-0"	NO	to setback bulkhead as per 175-33-5p
b.	Rear Yard Setback	6'-0" min.	21.22' (21'-2 5/8")	NO	
c.	Setback to Any Structure	3'-0" min.	11.17' (11'-2")	NO	
d.	Pool Equipment Setbacks	5'-0" min. rear; 10'-0" min. side	11.5' rear; 25.0' side	NO	

SQUARE FOOTAGE	FRONT YARD LANDSCAPE	TOTAL LANDSCAPE COVERAGE
Ground Floor	Pavers	Building Coverage w/ Porches
2154.3	44.25	2802.4
First Floor	Front Stairs & Porch	Total FY Hardscape Area
2180.1	397.5	802.6
Second Floor	Driveway w/ grass strips	287.2
2436.5	287.2	315.2
Half Story (1218.3 Allow.)	Pool steps	28
1209.6	45.6	946.2
Total Square Footage	Bulkhead	45.6
7980.5	Total FY Hardscape Area	802.6
	Area of Front Yard	1,777.42
	Total FY Landscape Area=	974.87
	54.85%	
	Allowable min is 50% = 888.71 sf	

VARIANCE APPLICATION NOTES

- The site is in zoning district S-30, conforming use.
- Construction type 5A, Protected.
- Tax lot 8, Block 12, shown as per "Property Survey" prepared by Arthur Ponzo Co., NJPLS #24GS02831400 and dated December 14, 2022.
- Applicant proposes to construct a new 2.5 story frame dwelling with a flat roof.
- Project site is located in Flood Zone Coastal A (Base Elev. +11.0) per F.E.M.A. MAP ID 34001C0434F
- Owner: Geoffrey & Michelle Greenberg, 115 S. Lancaster Avenue Margate, NJ
- A variance is requested for the following:
  - A variance is requested for a flat roof design with a minimum roof pitch of 1/4":1'-0". (per Article 175-33-5f)
  - A variance is requested for the third floor half story not within the roof of the second floor.
  - A variance is requested for an eave height greater than 18".

BUILDING DATA

- Use group R-5
- Construction type 5A, Protected
- Flood Hazard Zone: Coastal A

GENERAL NOTES

- Do not scale prints.
- All utilities are to run underground from nearest existing location.
- Contractor shall obtain and verify compliance of as-built survey (including ridge height) at framing completion.
- Contractor shall obtain and verify compliance of as-built survey (including ridge height) at framing completion.
- This site plan was prepared with information provided by prepared by Arthur Ponzo Co., NJPLS #24GS02831400 and dated December 14, 2022.
- Shade/street trees shall be provided as required. Lowest branches of street trees shall be no lower than 6'-0" above grade.
- Provide minimum 1 1/2% slope across length of site toward street in order to provide positive drainage to street. At no point should new grading allow water to drain onto adjacent properties.
- Verify T.O.C. elevation and average grade prior to installation of foundation. Notify architect of any discrepancy between actual condition and the drawings.
- See foundation plan for property line to face of block dimensions.
- Irrigation. Where irrigation is proposed, soaker hose and/or drip irrigation is required for all plantings. Rain sensors or soil moisture sensors are required.

MUNICIPAL ZONING BOARD APPROVAL

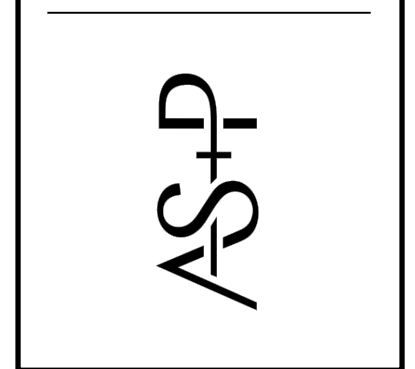
PURSUANT TO THE MUNICIPAL LAND USE LAW (1975) OF THE STATE OF NEW JERSEY, AND THE LAND SUBDIVISION AND DEVELOPMENT ORDINANCE, THIS PLAN IS APPROVED BY THE PLANNING BOARD OF THE SAID MUNICIPALITY.

CHAIRMAN \_\_\_\_\_ DATE: \_\_\_\_\_

SECRETARY \_\_\_\_\_ DATE: \_\_\_\_\_

ENGINEER \_\_\_\_\_ DATE: \_\_\_\_\_

ASHER SLAUNWHITE + PARTNERS



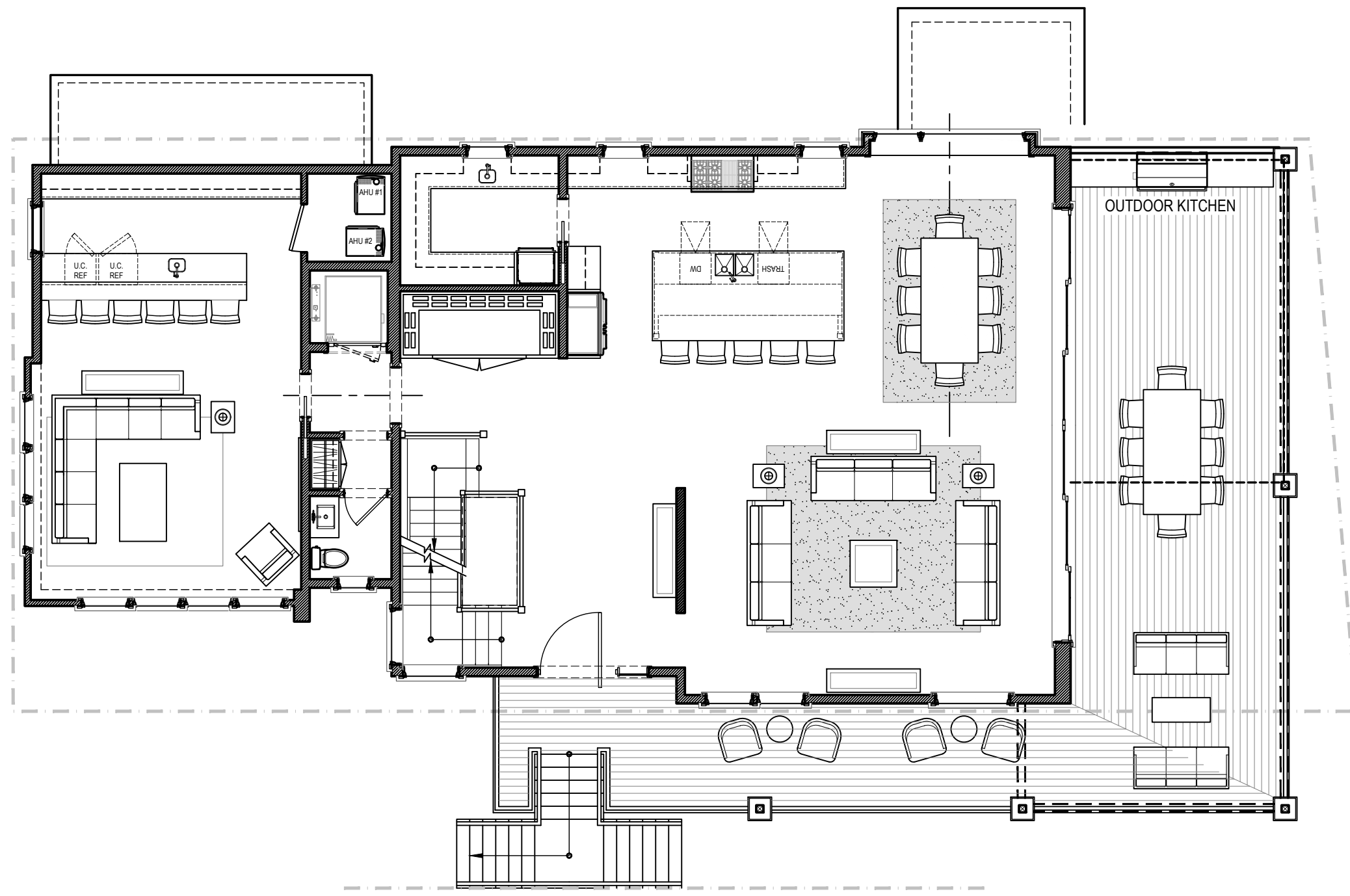
ASHER SLAUNWHITE + PARTNERS, LLC  
ARCHITECTURE  
115 WEST AVENUE, SUITE 305 - JENKINTOWN, PA 19046 | 215-576-1413  
ASAPARTISTS.COM

GREENBERG RESIDENCE  
115 S. LANCASTER AVE, MARGATE, NJ  
SHEET TITLE: SITE PLAN AND ZONING INFORMATION  
PROJECT: GREENBERG RESIDENCE  
SHEET NO: 11774  
PA REG 0137728

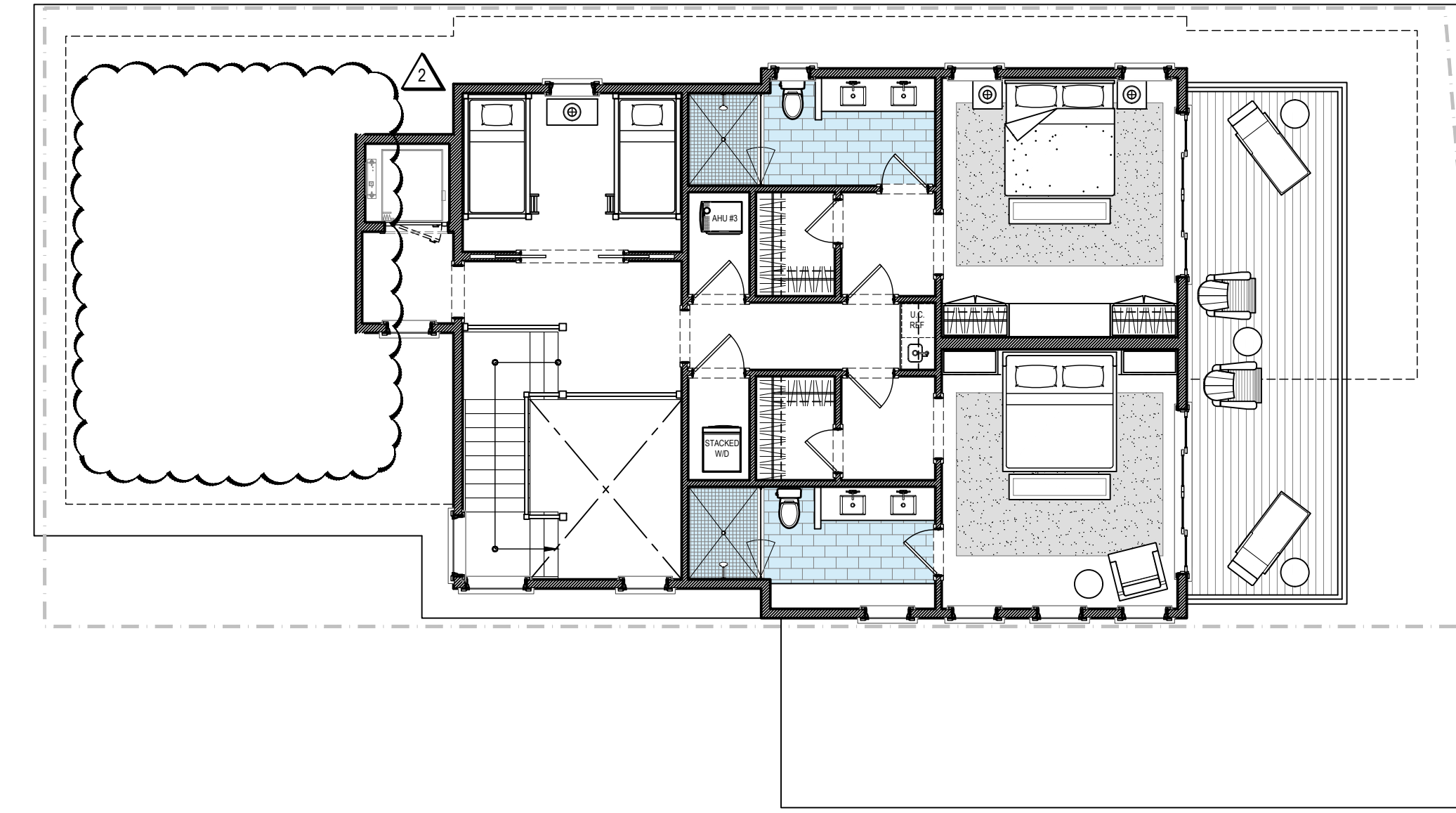
Issue Date:  
NOVEMBER 29, 2023

Drawn By:  
DSS  
Revision Date(s):  
JANUARY 23, 2024 SUBMISSION  
MARCH 8, 2024 STORAGE REMOVED

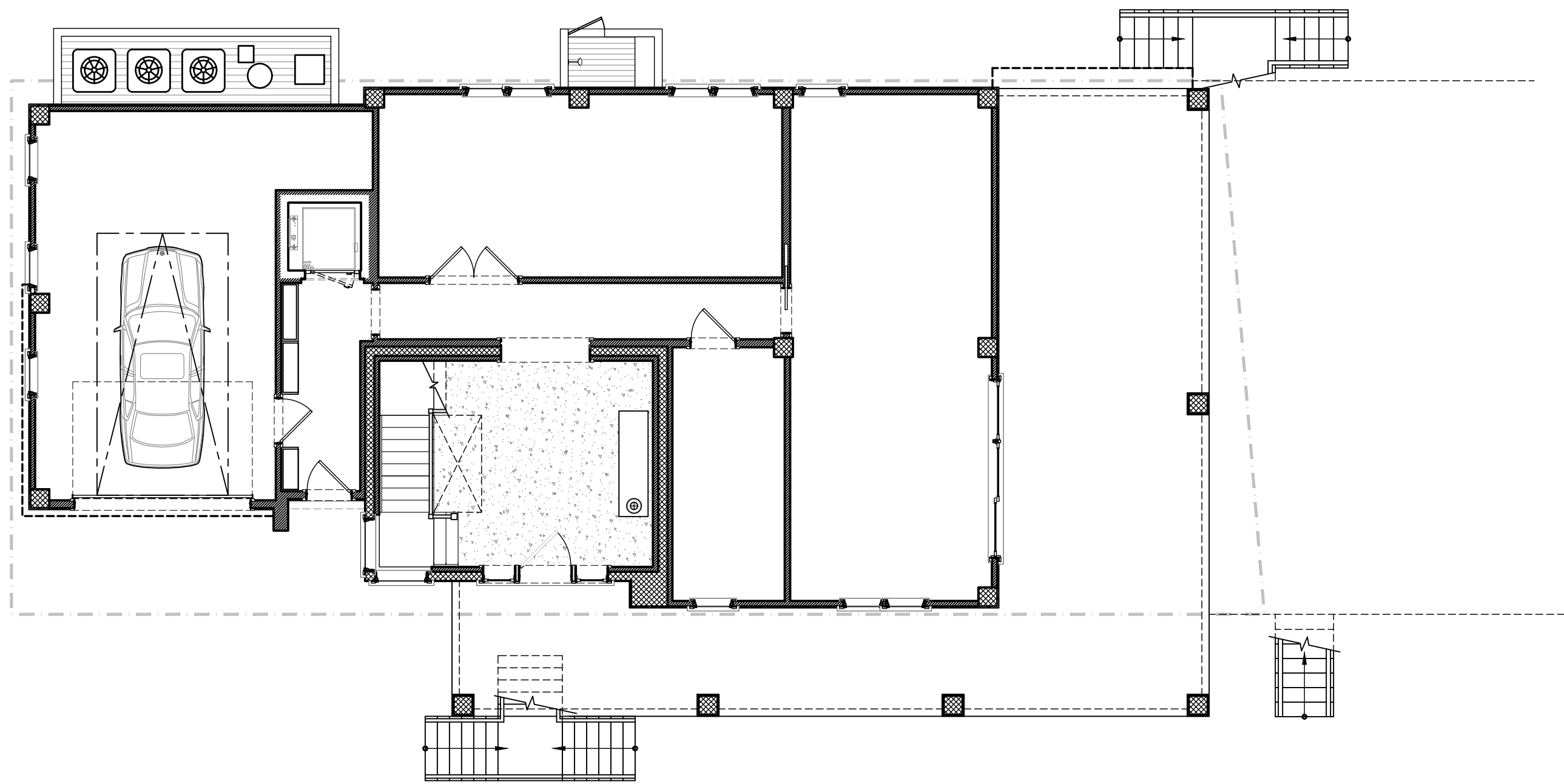
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V-1.0



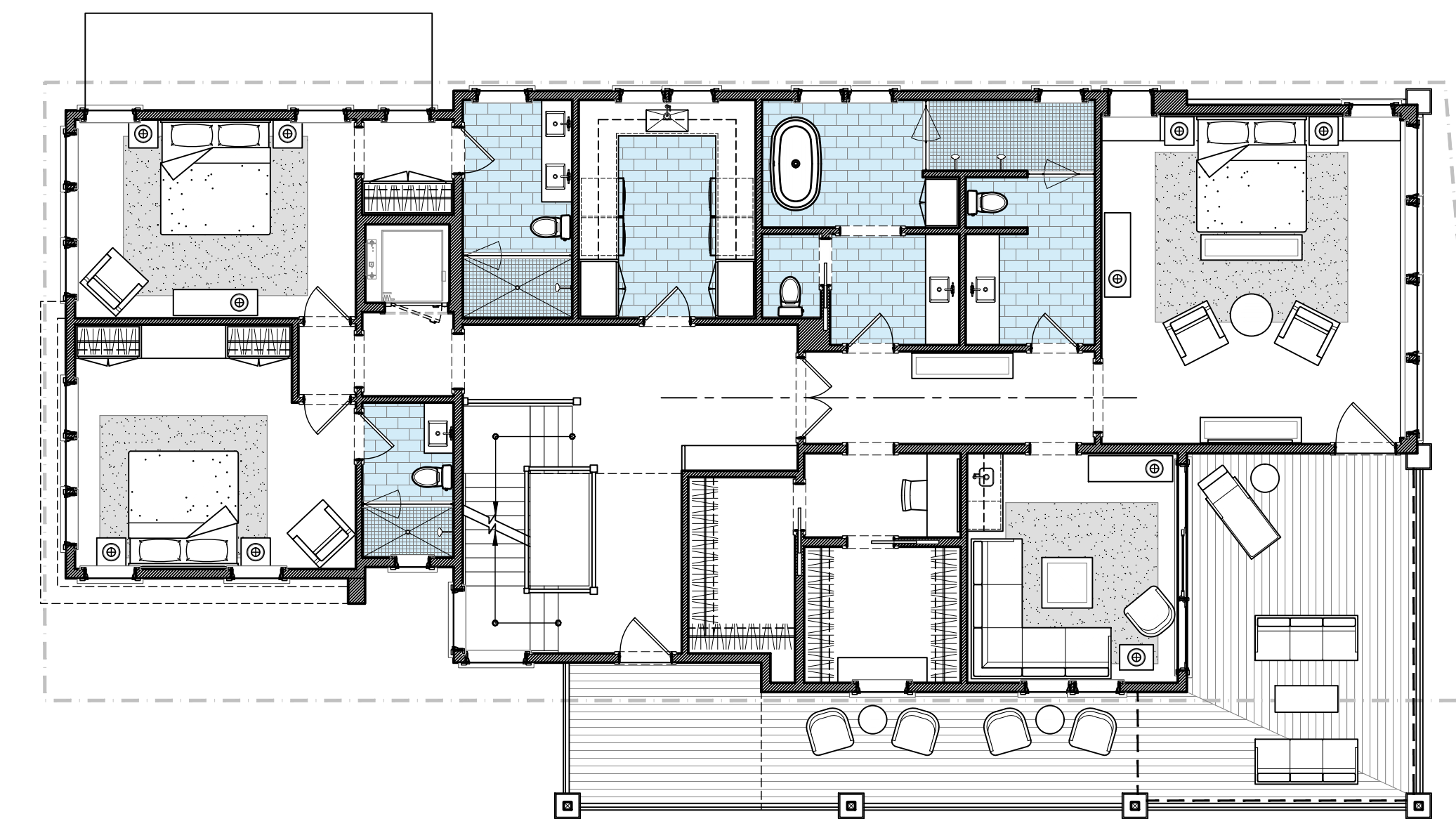
**2** FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



**4** THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"



**1** GROUND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



**1** SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

ASHER  
SLAUNWHITE +  
PARTNERS

AS+P

ASHER SLAUNWHITE + PARTNERS, LLC  
ARCHITECTURE  
115 WEST AVENUE, SUITE 305 - JENKINTOWN, PA 19046 | 215-576-1413  
ASPARTNERS.COM

Project: GREENBERG RESIDENCE  
115 S. LANCASTER AVE., MARGATE, NJ

Sheet Title: PROPOSED FLOOR PLANS

ISSUE FOR VARIANCE

*M. Slauwhite*  
NJ REG 11774  
PA REG 0137728

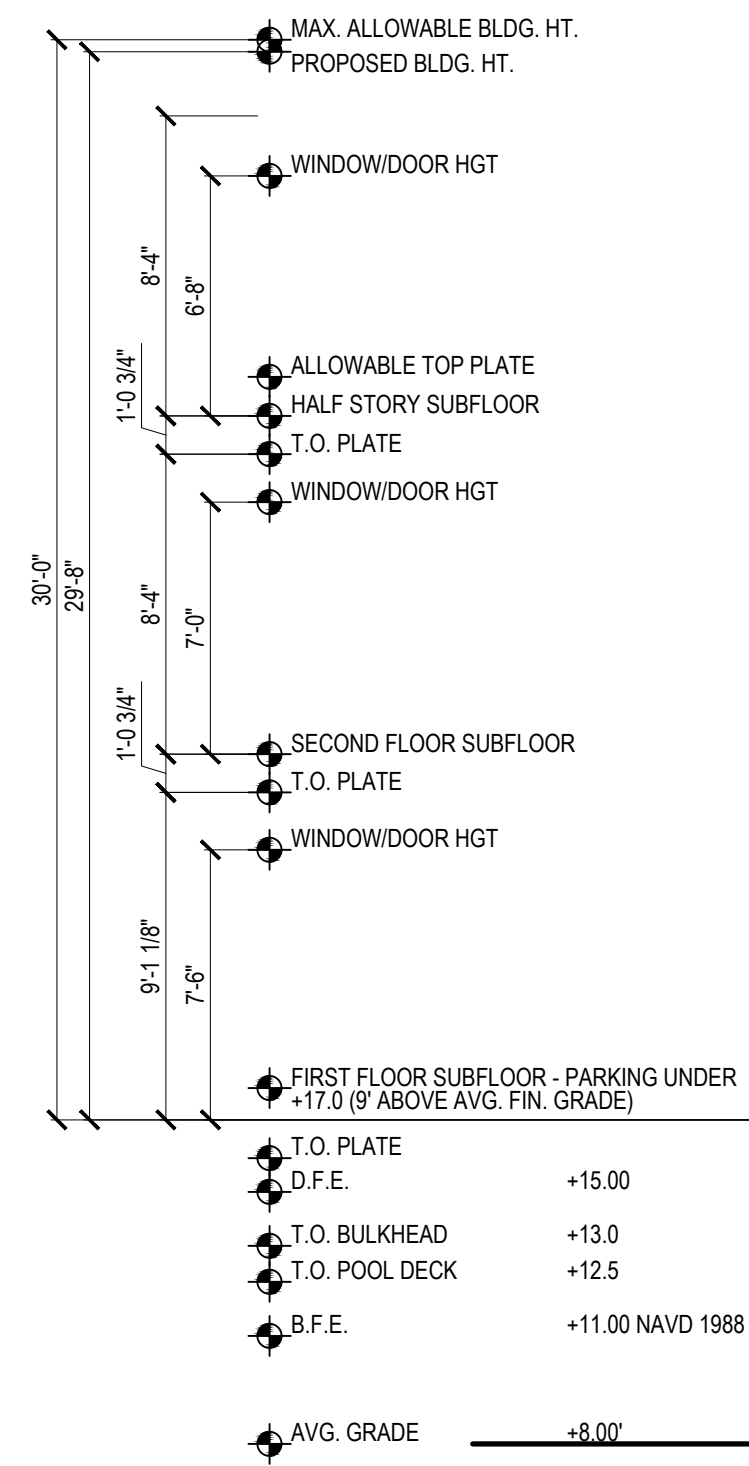
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Drawn By: DSS  
Revision Date(s):  
▲ JANUARY 23, 2024 SUBMISSION  
▲ MARCH 8, 2024 STORAGE REMOVED

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Sheet No.:

**V-2.0**

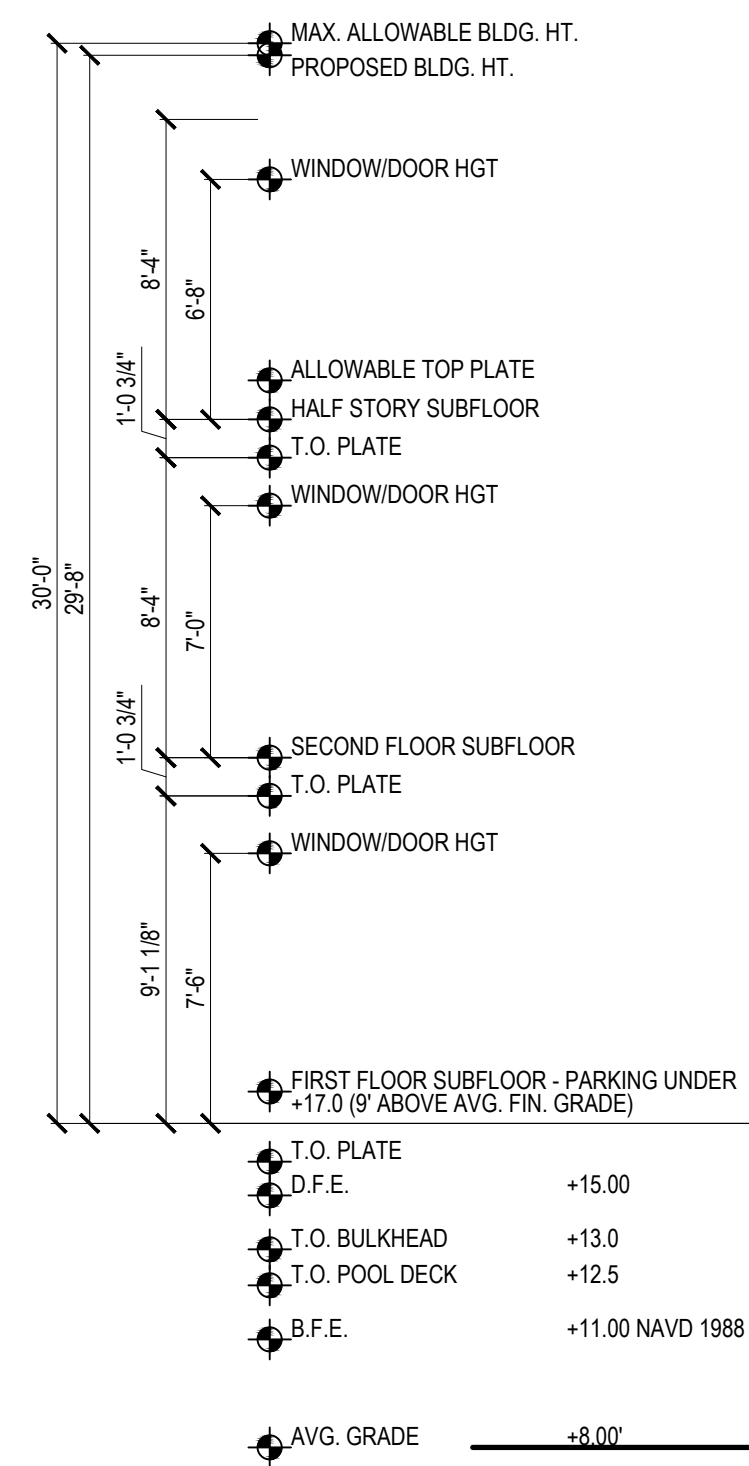




**REQUESTED VARIANCE:**  
Reduce the minimum  
required roof pitch to  
1/4"=1'-0" per Article  
175-32-E6



**1 REAR ELEVATION (NORTH)**  
SCALE: 3/16"= 1'-0"



**2 SIDE ELEVATION (WEST)**  
SCALE: 3/16"= 1'-0"

ASHER  
SLAUNWHITE +  
PARTNERS

AS+P

ASHER SLAUNWHITE + PARTNERS, LLC  
ARCHITECTURE  
115 WEST AVENUE, SUITE 305 - JENKINTOWN, PA 19046 | 215-576-1413  
ASPARCHITECTS.COM

Project:  
**GREENBERG RESIDENCE**  
115 S. LANCASTER AVE., MARGATE, NJ

Sheet Title:  
**ELEVATIONS**

Issue Date:  
NOVEMBER 29, 2023

Drawn By:  
DSS

Revision Date(s):  
▲ JANUARY 23, 2024 SUBMISSION

▲ MARCH 8, 2024 STORAGE REMOVED

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Sheet No.:

**V-4.0**

ISSUE FOR VARIANCE