

**Nehmad
Davis & Goldstein**

NDG

Nehmad Davis & Goldstein, PC
Counselors at Law
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Eric S. Goldstein
Managing Partner

egoldstein@ndglegal.com

4030 Ocean Heights Avenue
Egg Harbor Township, NJ 08234

t 609 927 1177
f 609 926 9721

August 8, 2023

VIA HAND DELIVERY

Palma Shiles, Planning Board Administrator
City of Margate
9001 Winchester Avenue
Margate, NJ 08402

RE: Application of Neal A. Cohen and Carol A. Cohen
107 N. Monroe Avenue
Block 330, Lot 399
Margate, Atlantic County, New Jersey
Our File No. 13211-001

Dear Ms. Shiles:

Please be advised that I represent the above-referenced property owners with regard to their application to the City of Margate Planning Board for certain "c" variance relief for the construction of a new flood-compliant single family home on a 25 foot wide lot in the MF Multifamily Zone.

The Applicants seek variances through the present application for side yard setbackcks and front yard setback to the proposed home located at 107 N. Monroe Avenue.

It is respectfully submitted that the requested variances pose no detriment to either the neighboring properties or the zone plan and zoning ordinance of the City of Margate.

In support of this application, enclosed please find the following:

1. Original and seventeen (17) copies of the City of Margate Planning Board Application and Variance Application Checklist;
2. Eighteen (18) sets of architectural renderings prepared by Matthew Peka, Architect, dated March 6, 2023, last revised July 27, 2023 (7 sheets);
3. Eighteen (18) copies of the survey prepared by Anthony F, Dirosa, PE, PLS, Tristate Engineering & Surveying, PC, dated October 15, 2021;

Palma Shiles, Planning Board Administrator
City of Margate
August 8, 2023
Page 2

4. Eighteen (18) copies of the Staff Committee Application and City of Margate Staff Committee Action Report;

5. One (1) copy of the vesting Deed dated December 22, 2020 and recorded on February 25, 2021 in the Atlantic County Clerk's Office as Instrument Number 2021011396;

6. One (1) copy of the 200' Property Owners List;

7. One (1) original Proof of Paid Taxes, water and sewer; and

8. One (1) USB flash drive with electronic copies of all submission materials.

Lastly, I enclose my firm's check in the amount of \$250.00 representing the required application fee.

Please do not hesitate to contact me should you require any additional documents or information in order to deem this application complete. Once deemed complete, please notify me as to the date that the Planning Board will consider this application and our firm will provide the required public notice in advance of that date.

Thank you.

Very truly yours,

NEHMAD DAVIS & GOLDSTEIN, P.C.

By: 
ERIC S. GOLDSTEIN

ESG/bme
Enclosures
13211-001/51066

APPLICATION FOR ACTION BY PLANNING BOARD
MARGATE, NEW JERSEY

PLEASE
TYPE OR
PRINT

1. **Date of Application:** August 7, 2023

2. **Zoning District:**

S-60	Single Family Residential	MF	<input checked="" type="checkbox"/>	Multi-Family Residential
S-50	Single Family Residential	CBD		Central Business District
S-40(WD)	Single Family Residential	C-1		Commercial
S-30	Single Family Residential	C-2		Commercial/Business
S-25	Single Family Residential	WSD		Waterfront Special District
S-25 (HD)	Historic Single Family Residential	GO		Government and Open Space
TF	Two-Family Residential	R		Riparian Overlay District

3. **Subject Parcel:**

Street Address(es) 107 N. Monroe Avenue
Block Number 330 Lot No(s) 399
Total Area (in square feet) 2,500 sf.
Frontage: 25 ft.
Depth: 100 ft.

4. **Information about the Applicant:**

Full name(s) Neal and Carol Cohen
If Business Entity, Names of Officers or Principals (Submit disclosure statement if appropriate)

Local Residence Address _____ Zip _____
Other Residence Address 1170 Old Jordan Road, Holland, PA Zip 18966
Business Address _____ Zip _____
Phone Number(s) (include area code);
Local Residence _____ Other Residence _____
Business _____ Fax neal.cohen@foxroach.com Cell Phone (215) 410-1001
cac62710@comcast.net

5. Interest in Subject Property:
 (Supply copies of relevant documents with this Application):

By lease dated _____

By Agreement of Sale dated _____

By Ownership of property since December 22, 2020

By other interest in law (describe):

6. If you do not own the Subject Property, provide the following regarding the Owner:

Name(s) N/A

Address _____

Phone No. (include area code);

Res. _____

Bus. _____

Fax _____

Cell _____

7. Type of Application Applied For (check all applicable):

<input checked="" type="checkbox"/> C Variance(s)	<input type="checkbox"/> Minor Subdivision	<input type="checkbox"/> Interpretation (B Variance)
<input type="checkbox"/> D Variance(s)	<input type="checkbox"/> Major Subdivision	<input type="checkbox"/> Other (Explain)
<input type="checkbox"/> Minor Site Plan Action	<input type="checkbox"/> Conditional Use Permit	_____
<input type="checkbox"/> Major Site Plan Action	<input type="checkbox"/> Appeal (A)	_____

8. Application Made To: Planning Board Other

9. Professionals Representing the Applicant: (Check applicable professional and provide information)

Attorney: Name Eric S. Goldstein, Esquire Phone (609) 927-1177
 Address Nehmad Davis & Goldstein, PC - 4030 Ocean Heights Avenue, Egg Harbor Township, NJ 08234
 Fax (609) 926-9721 Cell _____

Architect: Name Matthew Peka, Architect Phone 215-778-5103 / (609) 397-9009
 Address 80 Lambert Lane Suite 105 Lambertville, NJ 08530
 Fax _____ Cell _____

Surveyor: Name Anthony F. Dirosa, PE, PLS, Tristate Engineering & Surveying, PC Phone (856) 677-8742
 Address P.O. Box 1304, Blackwood, NJ 08012
 Fax _____ Cell _____

Preparer of Subdivision or Site Plan (if different from above)
 Name _____ Phone _____
 Address _____
 Fax _____ Cell _____

(Be sure to include all area codes and zip codes in the above)

<p>10. If Site Plan Action is Required:</p> <p>-What is the present use of the site and building(s)? N/A</p> <hr/> <hr/> <hr/> <p>-How will this be changed?</p> <hr/> <hr/> <hr/>	<p>11. If Subdivision Action is Required:</p> <p>-After conferring with the City Tax Assessor, provide lot numbers of new lot(s), dimensions, and area of each: (use extra pages, if necessary)</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 15%;">Lot No(s)</td> <td style="width: 35%;">Dimension(s)</td> <td style="width: 50%;">Area(s)</td> </tr> <tr> <td>N/A</td> <td style="text-align: center;">x</td> <td style="text-align: right;">S.F.</td> </tr> <tr> <td>_____</td> <td style="text-align: center;">x</td> <td style="text-align: right;">S.F.</td> </tr> <tr> <td>_____</td> <td style="text-align: center;">x</td> <td style="text-align: right;">S.F.</td> </tr> </table> <p>-Purpose of the Subdivision</p> <p><input type="checkbox"/> To sell lot(s)</p> <p><input type="checkbox"/> To build and sell homes (or other buildings)</p> <p><input type="checkbox"/> Other (please explain): _____</p>	Lot No(s)	Dimension(s)	Area(s)	N/A	x	S.F.	_____	x	S.F.	_____	x	S.F.
Lot No(s)	Dimension(s)	Area(s)											
N/A	x	S.F.											
_____	x	S.F.											
_____	x	S.F.											

12. If Variances are Required:

(Note: Properly scaled site plan must show all dimensions relevant to variance analysis)

-Current use of lot(s) and building(s): Existing single-family home.

-Proposed use: Demolition of the existing home and construction of a new flood compliant single family home

-If a "D" or "Use" Variance is required, please explain: N/A

-Regarding any dimensional variances required, please fill out the following chart:

Variance	Requirement of District	Present Condition	Proposed Condition
Width of the house	15.0 ft.	18.10 ft.	19.0 ft.
Front Setback	18 ft. 11 5/8 in.	15.1 ft	15.0 ft.
Side Setback	5.0 ft.	3.1 ft.	3.0 ft.
Setback to Front Deck	13 ft. 2 5/8 in.	12.1 ft	12.0 ft.

13. Prior Action: Please detail any prior hearing and/or decision relevant to this application. Supply date, name of Board, and results. (IF YOU ARE NOT SURE PLEASE CHECK WITH EITHER BOARD ADMINISTRATOR.) If no prior action, write "none".

N/A

14. County and Other Agency Actions (Provide necessary dates and decisions):

Site Plan:
N/A

Subdivision:
N/A

Other:
N/A

15. Space for Narrative: In this space you must provide a general narrative description of what is being proposed, as well as any information not otherwise set forth above which may be relevant to the application, including justifications, clarifications and extenuating circumstances. FAILURE TO PROPERLY COMPLETE THIS SPACE WILL CONSTITUTE AN INCOMPLETE APPLICATION.

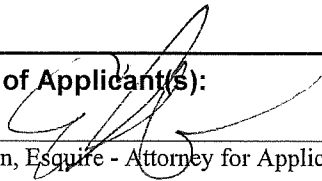
The subject property is a 25 foot wide lot located in the MF Multi-Family Zoning District.

The applicants seek to demolish the existing structure on the undersized lot and build a new flood-compliant single-family residential home.

Variances are requested for minimum side yard setback where 5 ft. is required, and minimum left side yard setback, where 5 ft. is required. Applicant requests a variance for a 3.1 ft.

Variances are not required for lot area and/or lot width, as they are existing non-conformities and the lot is a "buildable lot of record".

16. Signature of Applicant(s):



Eric S. Goldstein, Esquire - Attorney for Applicant

Date 8/7/23

Date _____

17. This space for Board Administrator:

-Staff Committee action took place
_____ and case assigned to
the Planning Board for _____ or

-This application received by the
Planning Board Administrator on

By: _____

18. Notarized Statement by Applicant:

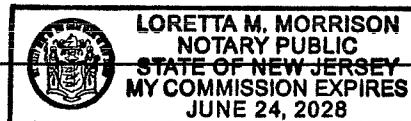
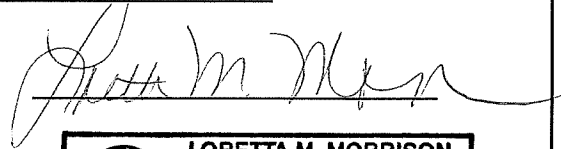
State of New Jersey } ss.

County of Atlantic }

Eric S. Goldstein, being duly

sworn according to law, deposes and says, that
the statements contained in the above application
and the statements contained in the papers
submitted herewith are true.

Sworn to and subscribed before me this 7th
day of August 2023.



LAND USE

Variance Application Checklist

VARIANCE CHECKLIST (Page 1 of 1)		Submitted	Waiver Requested
1.	Submit the following documents with the Standard Development Application: a. Copy of an area map showing all lots within 200 feet of the property. b. List of names, addresses, lot and block numbers, as they appear on the official tax records of the City, of all owners of property within 200 feet of the property affected by the application and upon whom the notice must be served in the manner provided by law. c. Copy of professional survey at a scale not smaller than 1" = 100' nor larger than 1/8" = 1'; clearly indicating the buildings and improvements thereon with all front, side and rear yard dimensions and setbacks from the property lines. d. Copies of subdivision, site plan or conditional use applications when applicable. e. Certification that taxes are paid.	 X X X X X	
2.	If the survey is more than one year old, attach certification of the applicant or owner that the survey accurately represents the status of the premises and all improvements at the time of filing for the variance, and show any proposed changes with all dimensions including enlargement of existing footprint, if applicable.	 X	
3.	A statement containing the following information: a. Date of acquisition of property and from whom. b. The number of dwelling units in existing building(s). c. State whether the applicant or owners own or are under contract to purchase any adjoining lands. Set forth lot and block number(s). d. State whether the application is or is not to be accompanied by a separate application for subdivision, site plan or conditional use approval.	12/22/20 Single-Family Home Owner No	
4.	Ten (10) folded copies of a plot plan, map or survey.		
Checklist prepared by: <u>Eric S. Goldstein, Esquire</u> Checklist reviewed by City: _____ Application found complete on: _____ Application found incomplete on: _____		Date: <u>8/7/23</u> _____ Date: _____	

PROJECT CRITERIA			
BULK REQUIREMENTS (ZONE 1F)			
REHA FLOOD ZONE (AES / AEI)			
REHA BASE FLOOD ELEVATION (10' NAVD88)			
MINIMUM DESIGN FLOOD ELEVATION (10' + 1'-0")			
ACTUAL DESIGN FLOOD ELEVATION (14.50' NAVD88)			
ITEM	REQUIRED	PROPOSED	ACTUAL
SITE AREA:	2,500 SF. OR 0.057 AC.	N/A	2,500 SF. OR 0.057 AC.
- WIDTH:	25'-0"	N/A	25'-0"
- DEPTH:	100'-0"	N/A	100'-0"
PERMITTED SITE AREA:	125 SF. OR 0.003 AC.	100 SF. OR 0.003 AC.	1,001 SF. OR 0.023 AC.
- WIDTH:	15'-0"	15'-0"	15'-0"
- DEPTH:	75'-0"	63'-2"	63'-2"
BETACKS:			
- FRONT:	0'-11 1/2"	5'-0" V	5'-1"
- REAR:	20'-0"	N/A	22'-8"
- SIDES:	3'-0"	3'-0" V	3'-1"
- FRONT DECK:	13'-2 1/2"	0'-0" V	12'-1"
- REAR DECK:	3'-0" (WATER EDGE)	N/A	3'-1"
- POOL REAR:	6'-0"	N/A	6'-0"
- POOL SIDES:	6'-0"	N/A	6'-0"
BUILDING COVERAGE:			
- STRUCTURE:	45% MAX.	N/A	45% (V)
- LANDSCAPING:	35% MIN.	N/A	35% (V)
- FRONT LANDSCAPING:	60% MIN.	N/A	60% (V)
FLOOR AREA RATIO (FAR):	1.0 MAX.	N/A	0.13
- EXCLUDING GARAGE, STAIR, ELEVATOR & TERRACE/BALCONY			
STRUCTURE HEIGHT:	30'-0" MAX.	N/A	29'-11"
PARKING:	2 SPACES	N/A	3 SPACES
			1 GARAGE
			2 DRIVEWAY

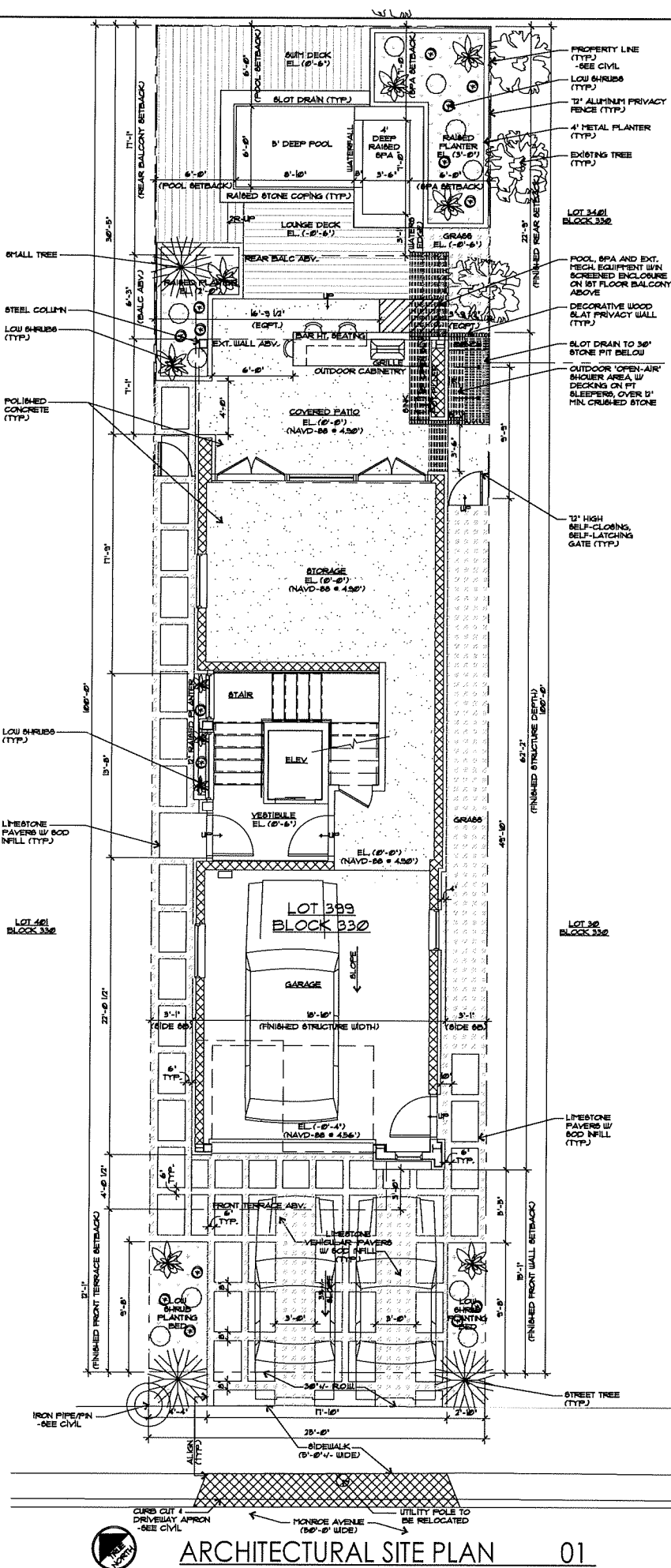
V = VARIANCE PROPOSED

EXISTING BETACK CHART			
LOCATION:	MONROE AVENUE BLOCK 330, LOT 399 (PIG)		
STREET WIDTH:	50'-0"		
LOT#	WISCH / DECK	BUILDING	
415	14.6'	22.10'	
416	14.50'	21.50'	
407	10.00'	24.00'	
409	9.40'	9.40' (L)	
401	10.00' (H)	20.00' (H)	
399 (PIG)	9.50'	9.50'	
39	10.00'	10.00'	
32	9.00' (L)	12.20'	
AVERAGE:	13.21'	10.51'	
NOTE: AVERAGES EXCLUDE HIGH AND LOW			
PREPARED BY:			
ARTHUR PONZO CO.			
400 NORTH DOVER AVENUE			
ATLANTIC CITY, NJ 08401			
(70) 609-344-8194			

PROPOSED PLANT SCHEDULE			
LOCATION	TYPE		
STREET TREE	HONEY LOCUST		
SMALL TREE	WEeping FLOERING CHERRY		
LOW SHRUB	CHINESE HOLLY		
LOW SHRUB	GOLD CYPRESS		
LOW SHRUB	INDOBERY		
LOW SHRUB	JAPANESE HOLLY		
LOW SHRUB	BLUE PACIFIC JUNIPER		
LOW SHRUB	LEPONGRASS		
NOTE: ALL PLANTS ARE SUBJECT TO CHANGE BASED ON OWNERS FINAL SELECTION AND PLACEMENT.			

ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY. FOR ALL SITE WORK AND INFORMATION, REFER TO SITE CIVIL ENGINEERING DRAWINGS PREPARED BY:

TRISTATE ENGINEERING AND SURVEYING
P.O. BOX 1054
BLACKWOOD, NEW JERSEY 08012
(70) 856-6711-8742 (F) 856-875-2024
WWW.TRISTATECIVIL.COM



- GENERAL NOTES AND CONDITIONS
- 1.1 ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THIS PROJECT INCLUDING ALL APPLICABLE STATE, CITY AND COUNTY BUILDING, ZONING, ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODES. CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS BEFORE COMMENCEMENT OF CONSTRUCTION AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN CODE REQUIREMENTS AND THE CONTRACT DOCUMENTS TO THE ATTENTION OF THE ARCHITECT.
 - 1.2 DETAILS AND SECTIONS ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAILS NOTED "TYPICAL" APPLY TO ALL CONDITIONS TREATED SIMILARLY. MODIFICATIONS TO BE MADE BY CONTRACTOR TO ACCOMMODATE WORK VARIATIONS.
 - 1.3 ALL DRAWINGS SHALL BE FULLY COORDINATED BY CONTRACTOR TO VERIFY ALL DIMENSIONS, LOCATE DEEPENED SLABS, SLOPE DRAINS, OUTLETS, RECESSES, REGISTRY BOLT SETBACKS, SLEEVES, ETC.
 - 1.4 THE CONTRACTOR SHALL VERIFY AND PROTECT ALL SERVICE LINES AND EXISTING SITE AREA FROM DETRIORATION OR DAMAGE.
 - 1.5 THE ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SAFETY AND CONSTRUCTION PROCEDURES, TECHNIQUES, OR THE FAILURE OF THE BUILDER TO CARRY OUT THE WORK IN ACCORDANCE WITH THE DRAWINGS OR THE REQUIRED CODES.
 - 1.6 CONTRACTOR SHALL OBTAIN ALL NECESSARY BUILDING PERMITS.
 - 1.7 CONTRACTOR SHALL BRING ERRORS AND OMISSIONS WHICH MAY OCCUR IN CONTRACT DOCUMENTS TO THE ATTENTION OF THE ARCHITECT IN WRITING AND WRITTEN INSTRUCTIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, OMISSIONS OR CONFLICTS IN THE CONTRACT DOCUMENTS OF WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.
 - 1.8 THE CONTRACTOR AND SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE SUFFICIENTLY IN ADVANCE OF WORK TO BE PERFORMED TO ASSURE THE ORDERLY PROGRESS OF THE WORK.
 - 1.9 CONTRACTORS SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF ALL TRASH, DEBRIS AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOLIDIFY PAINT OVERSPRAYS, ETC. ALL FUTURES, EQUIPMENT, SLABS, FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.
 - 1.10 IN AREAS WHERE THE DRAWINGS DO NOT ADDRESS METHODOLOGY, THE CONTRACTORS SHALL BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND/OR RECOMMENDATIONS.
 - 1.11 ALL MANUFACTURER'S PRINTED WARNINGS FOR HANDLING OF PRODUCTS MUST BE STRICTLY OBSERVED. THE WORDS "OR EQUAL" ARE TO BE ASSUMED UNLESS OTHERWISE SPECIFIED. MANUFACTURER IS NOTED.
 - 1.12 ALL CODES, TRADE STANDARDS AND MANUFACTURER'S INSTRUCTIONS REFERENCED IN THE CONTRACT DOCUMENTS SHALL BE THE LATEST EDITION.
 - 1.13 THE CONTRACTOR SHALL MAKE NO STRUCTURAL CHANGES WITHOUT WRITTEN APPROVAL OF THE ARCHITECT/ENGINEER.
 - 1.14 THE CONTRACTOR SHALL PAY FOR ALL TEMPORARY UTILITIES DURING CONSTRUCTION (IE. HEAT, ELEC. WATER, SEWER, ETC.).
 - 1.15 THE GENERAL CONTRACTOR MUST TAKE MEASURES TO CONTROL EROSION OF STEEP BANKS DURING CONSTRUCTION. ANY INCONSIDERENCES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR RESOLUTION OR REVISION. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ANY INCONSIDERENCES BETWEEN THESE PLANS AND GOVERNING BUILDING CODES OR ORDINANCES. CONTRACTOR SHALL CHECK WITH THE ARCHITECT TEN DAYS PRIOR TO THE START OF CONSTRUCTION FOR APPROVALS OR BULLETINS.
 - 1.16 IF REQUESTED, THE CONTRACTOR SHALL PROVIDE A PERFORMANCE BOND FOR 10% PERCENT OF CONTRACT VALUE. THE PREMIUM FOR THIS BOND SHALL BE PAID BY THE OWNER.

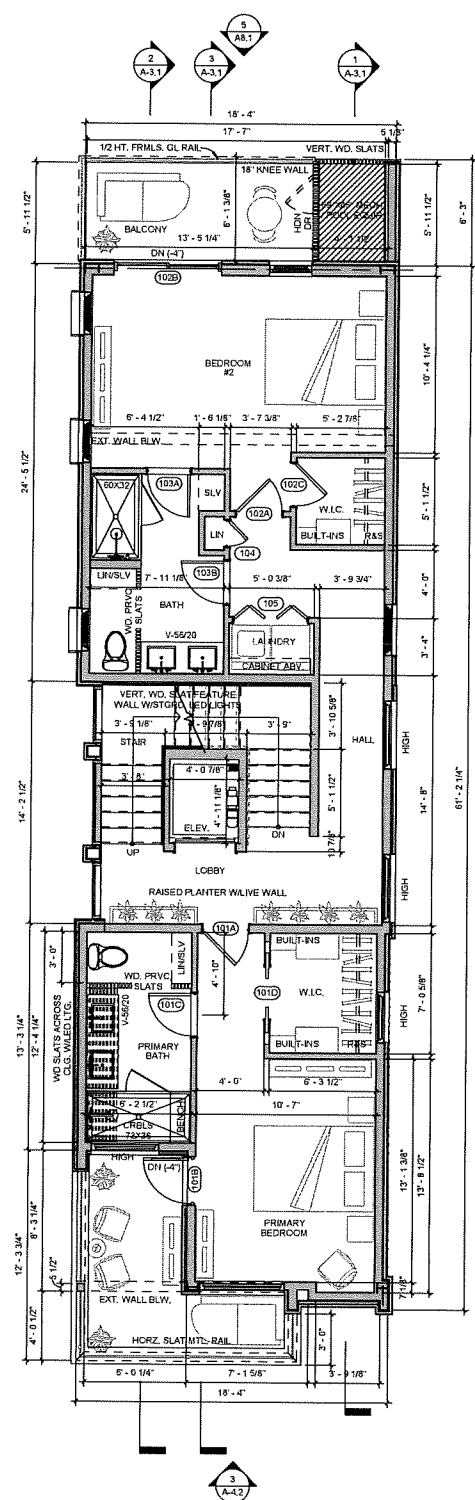
GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS ETC. PRIOR TO START OF CONSTRUCTION. ANY INCONSIDERENCES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR RESOLUTION OR REVISION. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ANY INCONSIDERENCES BETWEEN THESE PLANS AND GOVERNING BUILDING CODES OR ORDINANCES. CONTRACTOR SHALL CHECK WITH THE ARCHITECT TEN DAYS PRIOR TO THE START OF CONSTRUCTION FOR APPROVALS OR BULLETINS.

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COHEN RESIDENCE
107 NORTH MONROE AVENUE
MARGATE CITY, NJ 08402
ATLANTIC COUNTY

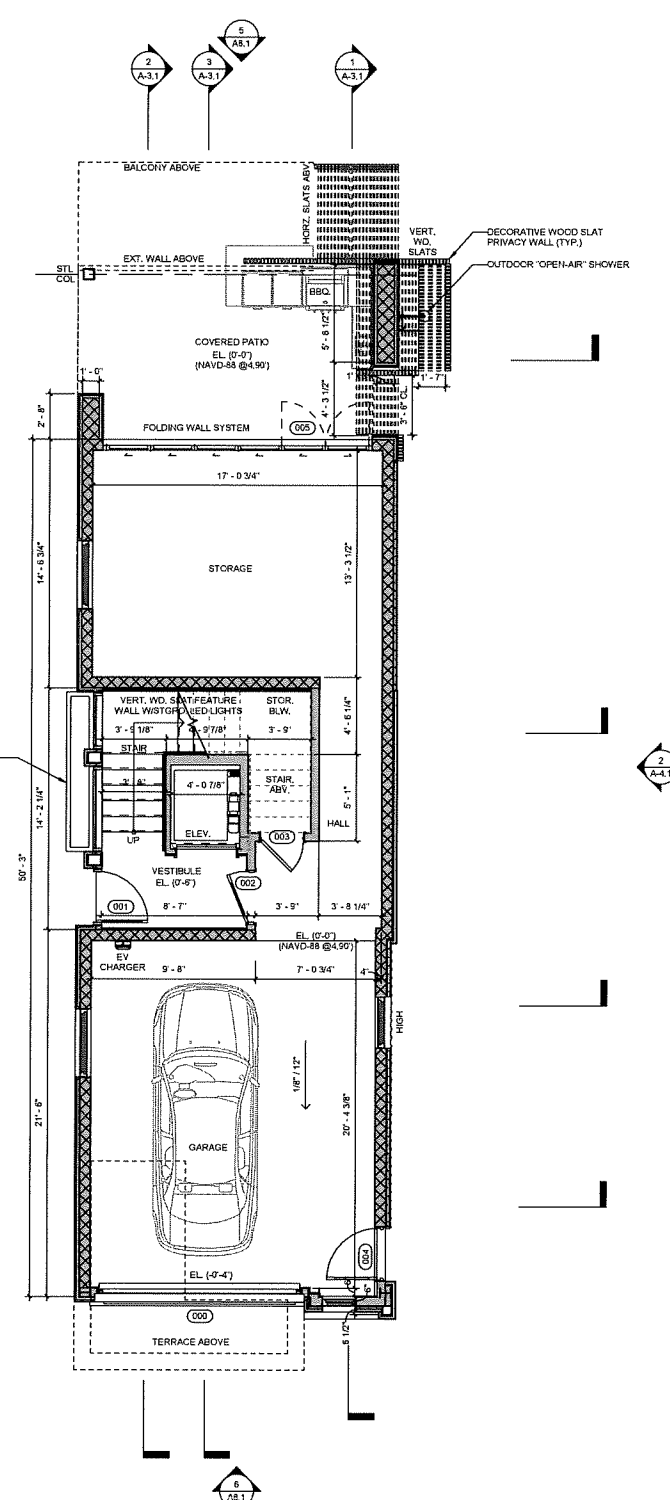
SHEET TITLE:
ARCHITECTURAL SITE PLAN

#	RELEASED FOR	DATE
1	SCHEMATIC DESIGN	03/06/2023
2	DESIGN DEVELOPMENT	06/18/2023
3	ZONING SUBMISSION	07/27/2023

DRAWING NO. **A-1.1**



2 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 GARAGE PLAN
SCALE: 1/4" = 1'-0"

GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS ETC. PRIOR TO AND DURING CONSTRUCTION. ANY INCONSISTENCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR RESOLUTION OR VERIFICATION. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ANY INCONSISTENCIES BETWEEN THESE PLANS AND GOVERNING BUILDING CODES OR ORDINANCES. CONTRACTOR SHALL CHECK WITH THE ARCHITECT FOR DATA PRIOR TO THE START OF CONSTRUCTION FOR ADDENDUMS OR BULLETINS.

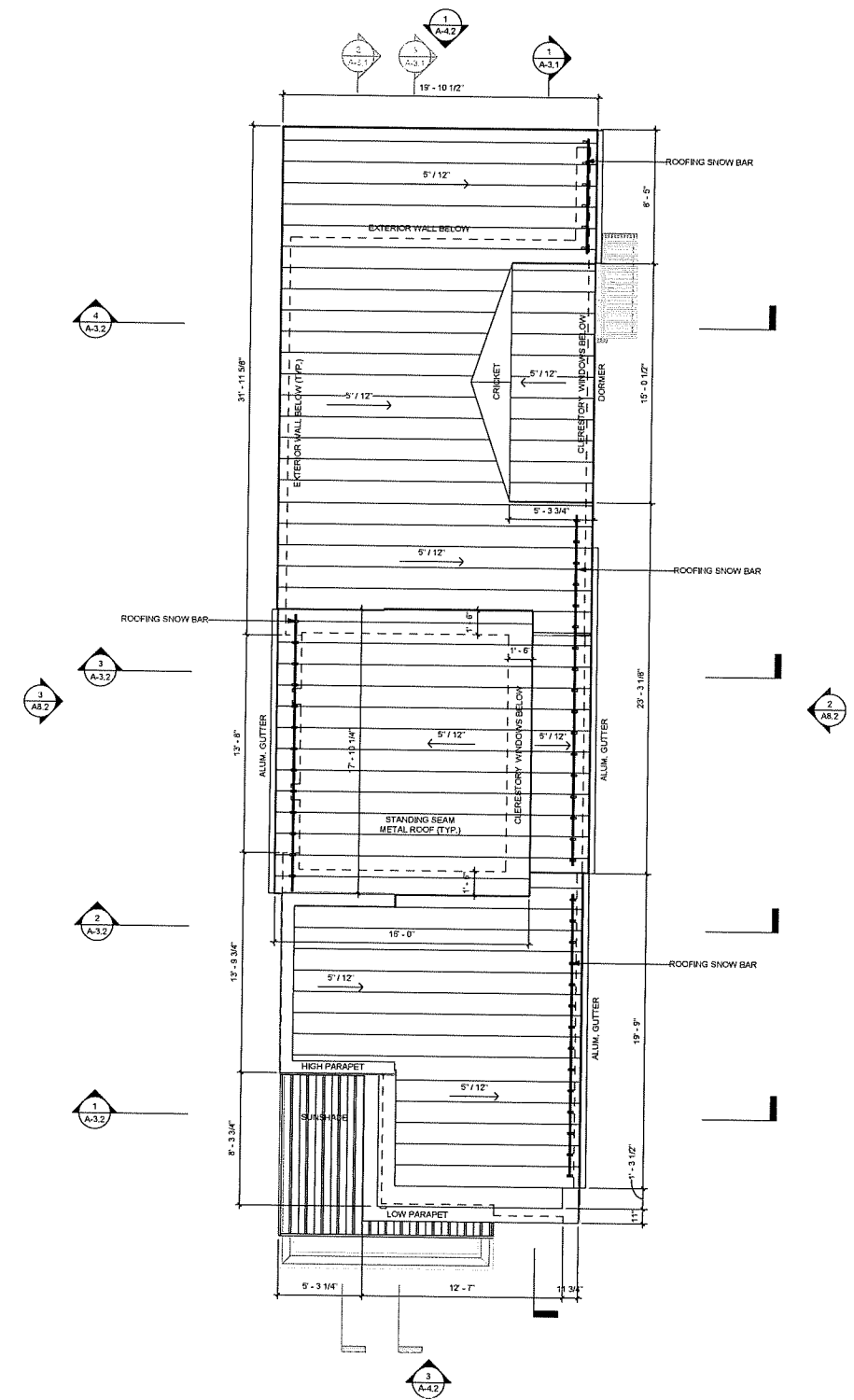
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MARGATE CITY, NJ 08402
ATLANTIC COUNTY

SHEET TITLE:
ARCHITECTURAL PLANS

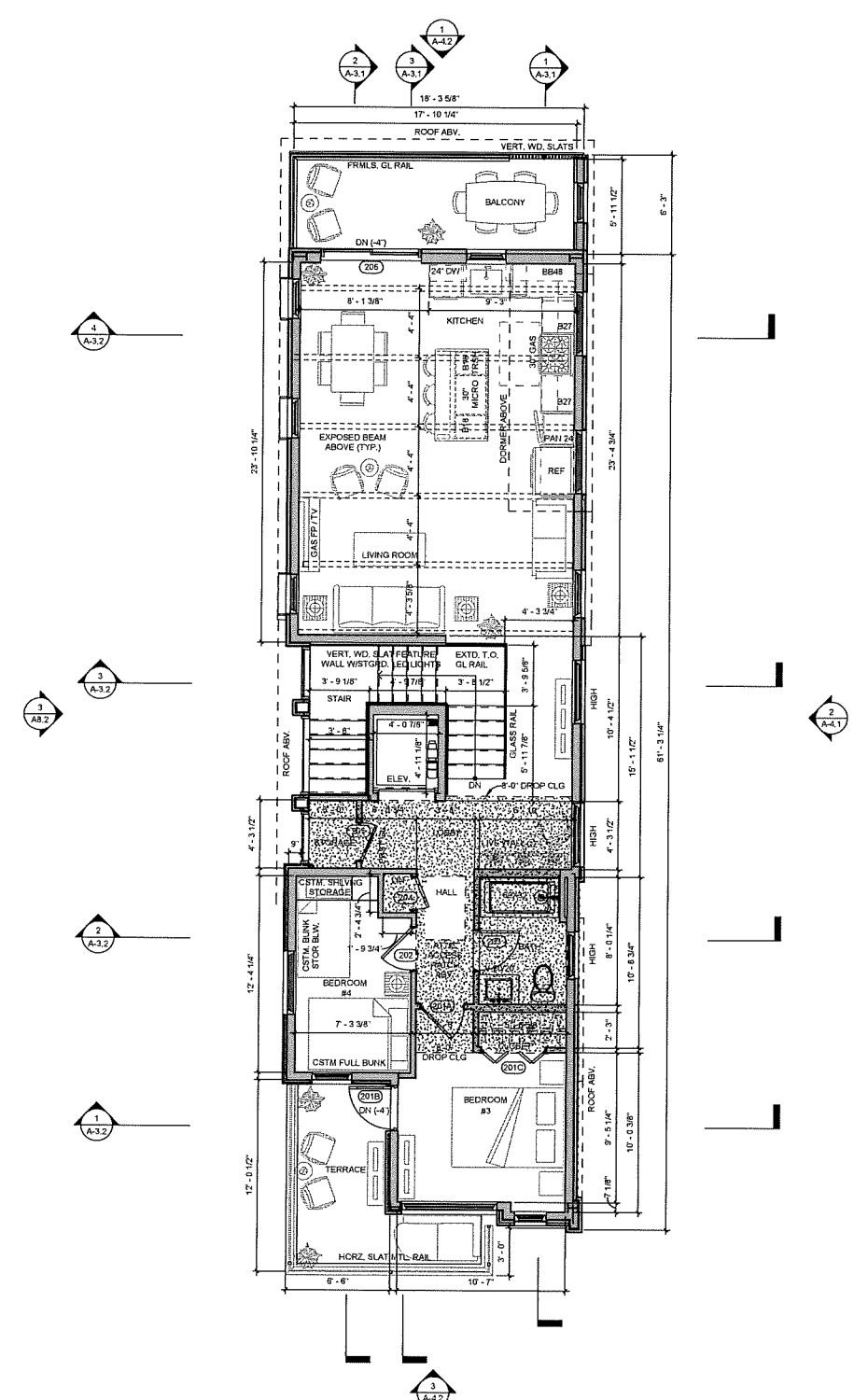
#	RELEASED FOR	DATE
3	SCHEMATIC DESIGN	03/09/2023
2	DESIGN DEVELOPMENT	06/18/2023
1	ZONING SUBMISSION	07/27/2023

N
↑

DRAWING NO. **A-2.1**



4 ROOF PLAN
SCALE: 1/4" = 1'-0"



3 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DRAWINGS ETC. PRIOR TO AND DURING CONSTRUCTION. ANY INCONSISTENCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR RESOLUTION OR VERIFICATION. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ANY INCONSISTENCIES BETWEEN THESE PLANS AND GOVERNING BUILDING CODES OR ORDINANCES. CONTRACTOR SHALL CHECK WITH THE ARCHITECT TEN DAYS PRIOR TO THE START OF CONSTRUCTION FOR ADDENDUMS OR BULLETINS.

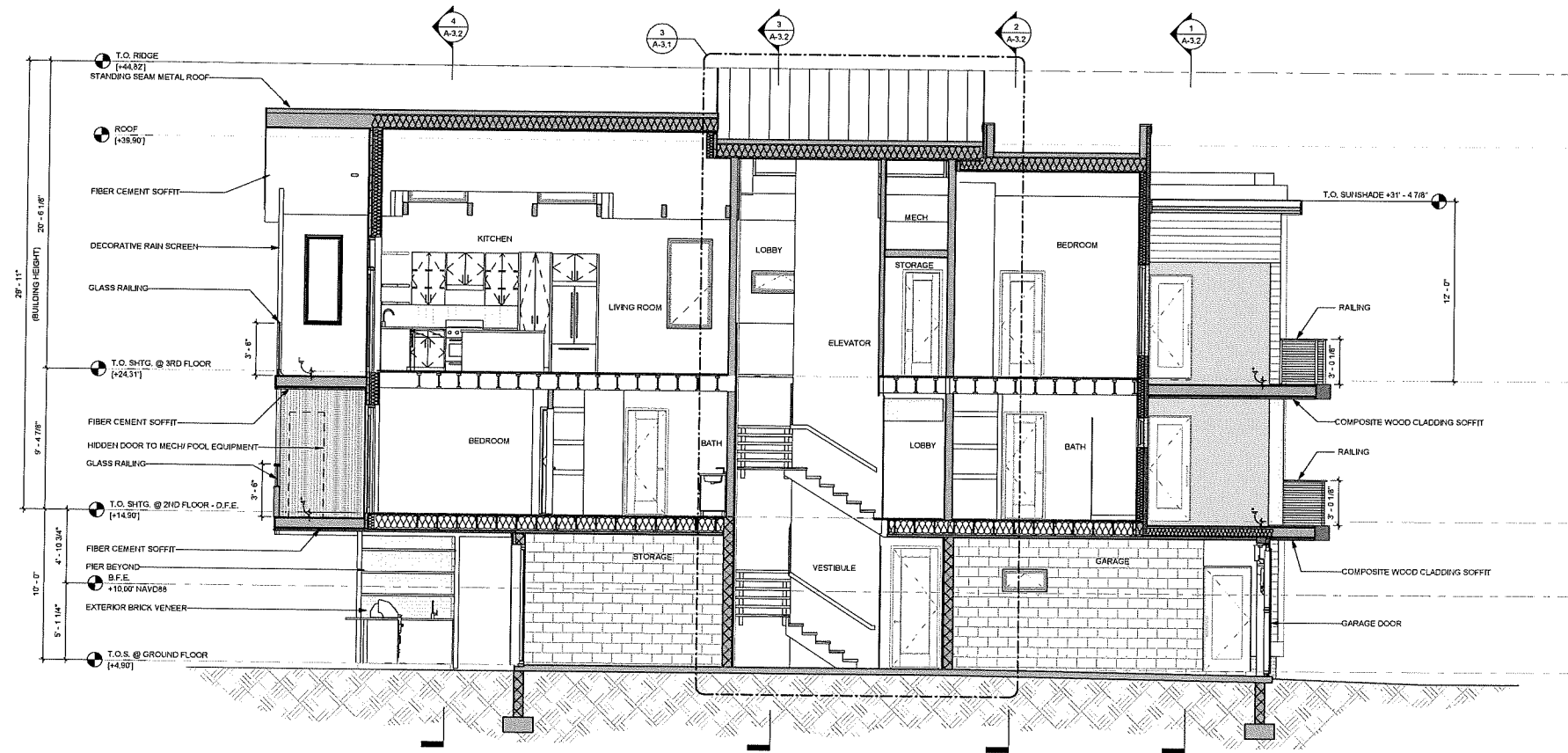
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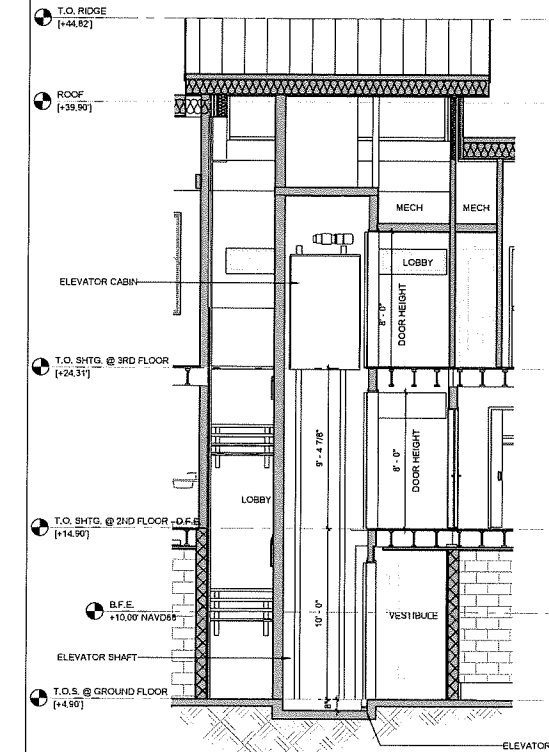
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1	SCHEMATIC DESIGN	03/06/2023
2	DESIGN DEVELOPMENT	06/18/2023
3	ZONING SUBMISSION	07/27/2023

N
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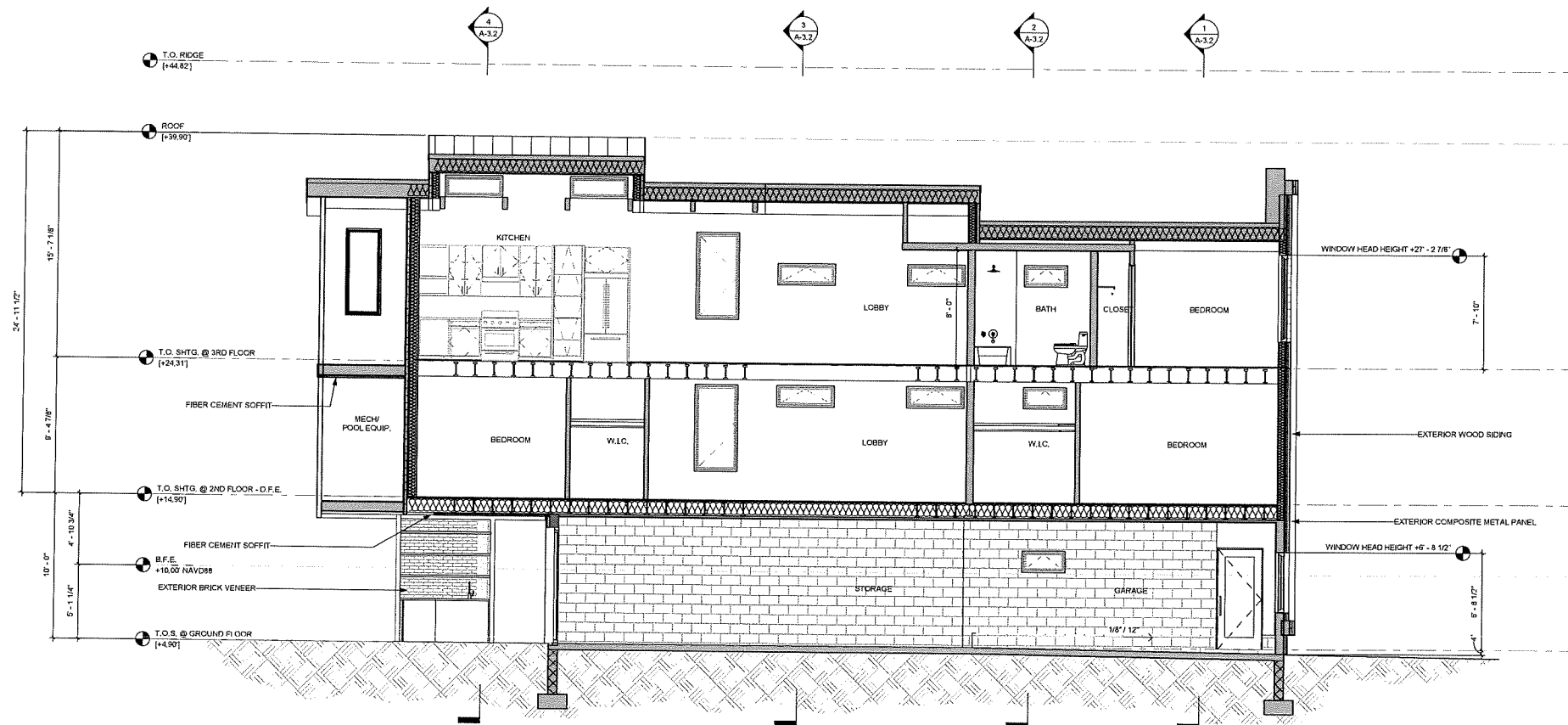
DRAWING NO. **A-2.2**



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"



3 PARTIAL SECTION THROUGH ELEVATOR
SCALE: 1/4" = 1'-0"



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"

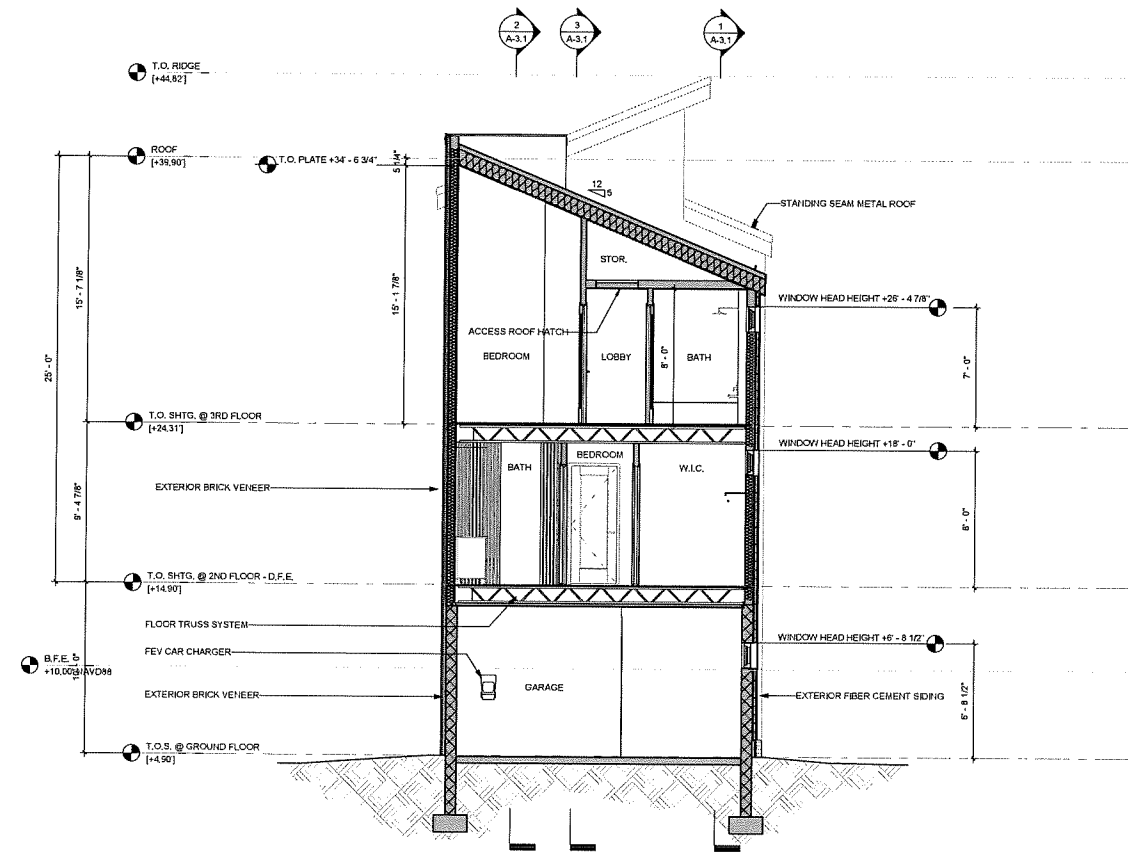
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MARGATE CITY, NJ 08402
ATLANTIC COUNTY

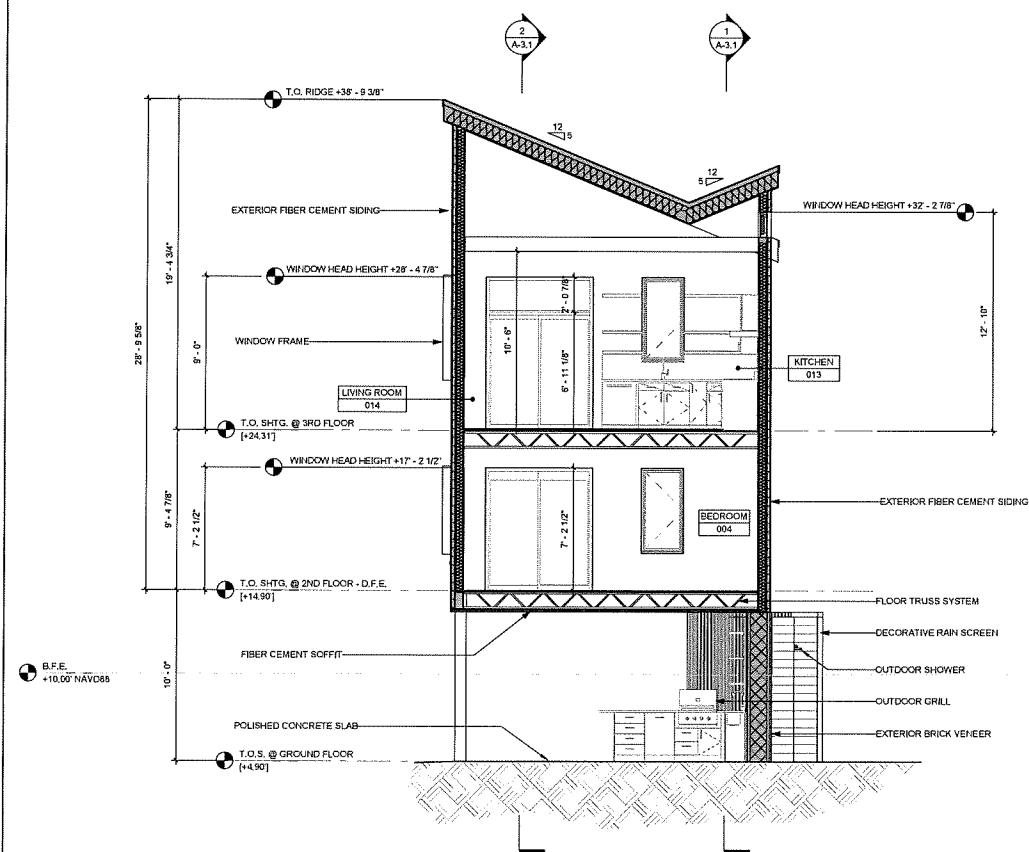
SHEET TITLE:
BUILDING SECTIONS

#	RELEASED FOR	DATE
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2	DESIGN DEVELOPMENT	06/18/2023
3	ZONING SUBMISSION	07/27/2023

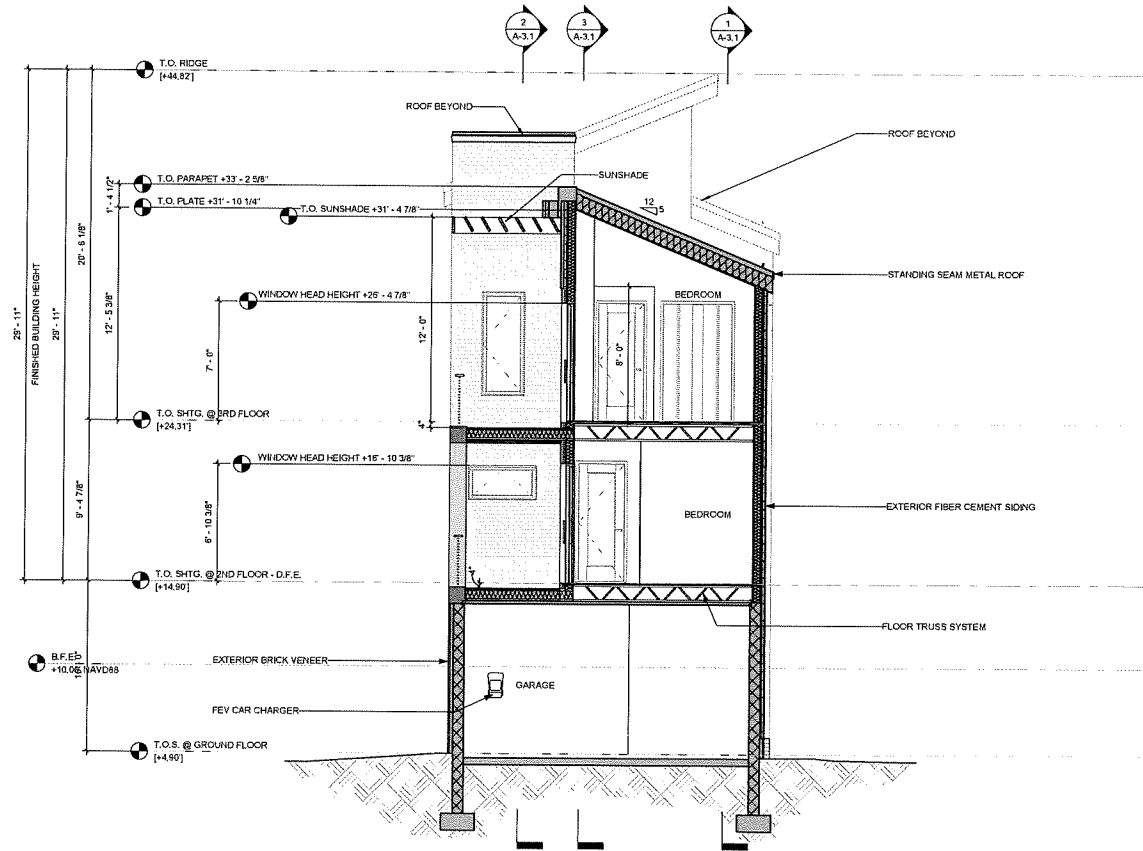
DRAWING NO. **A-3.1**



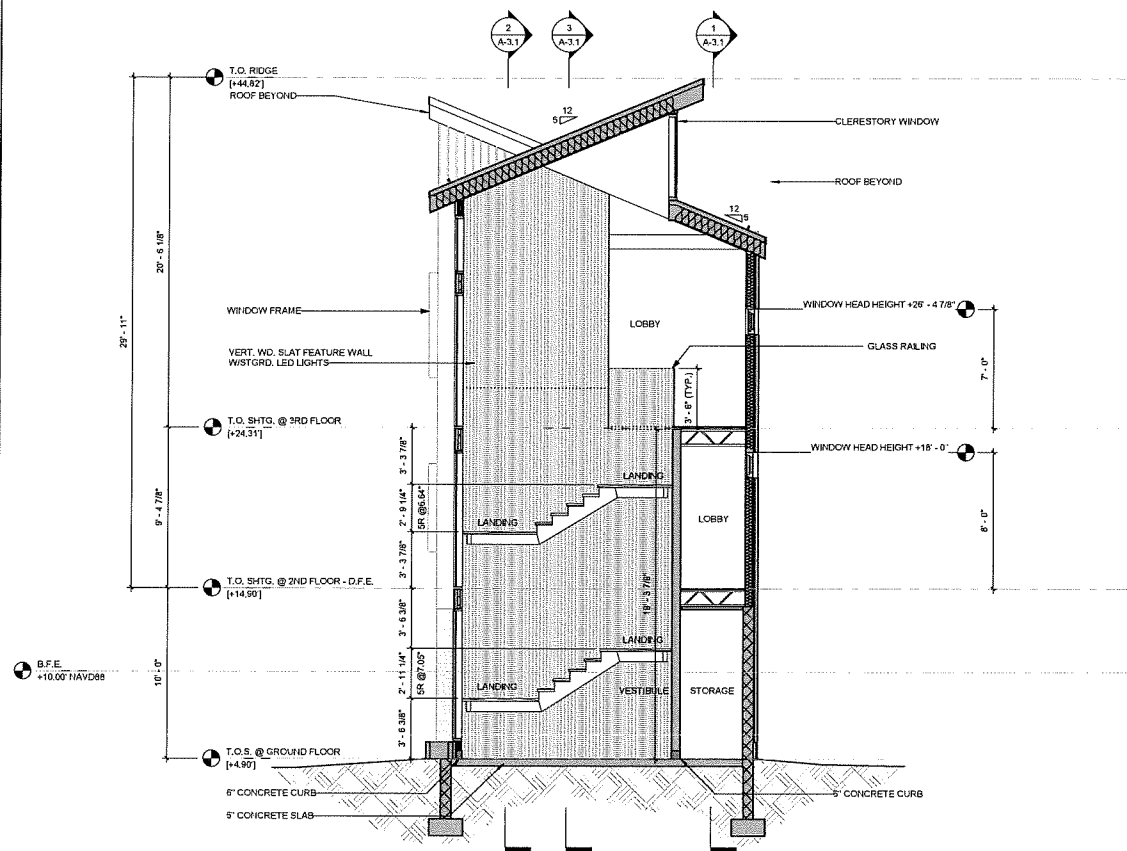
2 BUILDING SECTION
SCALE: 1/4" = 1'-0"



4 BUILDING SECTION
SCALE: 1/4" = 1'-0"



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



3 BUILDING SECTION
SCALE: 1/4" = 1'-0"

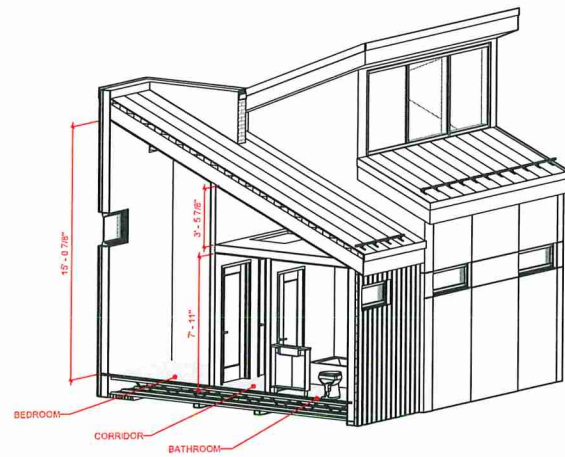
GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS ETC. PRIOR TO ANY CONSTRUCTION. ANY INCONSISTENCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION OF THE ARCHITECT FOR RESOLUTION OR VERIFICATION. CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE APPLICABLE AND GOVERNING BUILDING CODES OR ORDINANCES. CONTRACTOR SHALL CHECK WITH THE ARCHITECT TEN DAYS PRIOR TO THE START OF CONSTRUCTION FOR ADDENDUMS OR RALETHERS.

PROJECT NAME:
COHEN RESIDENCE
107 NORTH MONROE AVENUE
MARGATE CITY, NJ 08402
ATLANTIC COUNTY

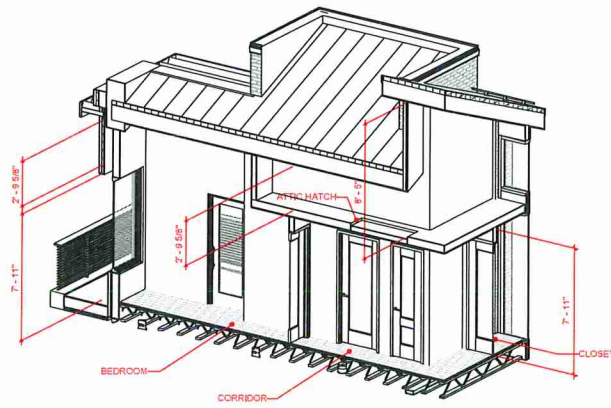
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BUILDING SECTIONS

#	RELEASED FOR	DATE
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2	DESIGN DEVELOPMENT	08/18/2023
3	ZONING SUBMISSION	07/27/2023

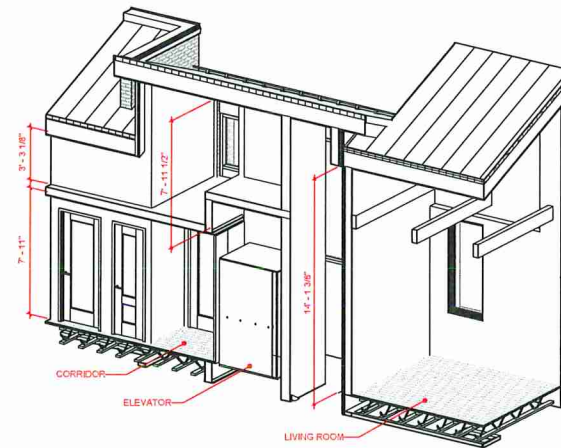
DRAWING NO. **A-3.2**



1 3D VIEW
SCALE:



2 3D VIEW
SCALE:



3 3D VIEW
SCALE:

GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS ETC. PRIOR TO AND DURING CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR RESOLUTION OR VERIFICATION. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE PLANS AND GOVERNING BUILDING CODES OR ORDINANCES. CONTRACTOR SHALL CHECK WITH THE ARCHITECT TEN DAYS PRIOR TO THE START OF CONSTRUCTION FOR ADDENDUMS OR BULLETINS.

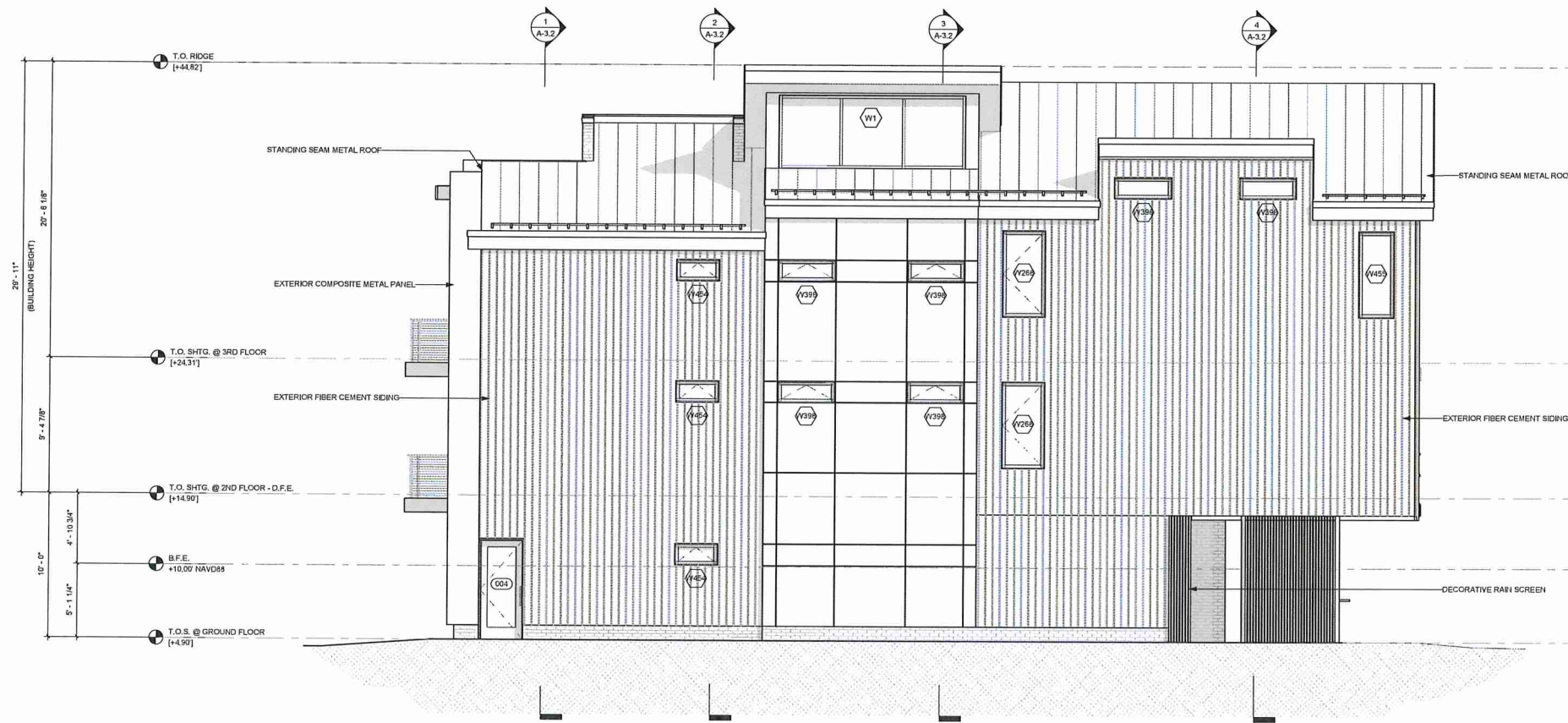
PROJECT NAME:
COHEN RESIDENCE
107 NORTH MONROE AVENUE
MARGATE CITY, NJ 08402
ATLANTIC COUNTY

SHEET TITLE:
3D VIEWS

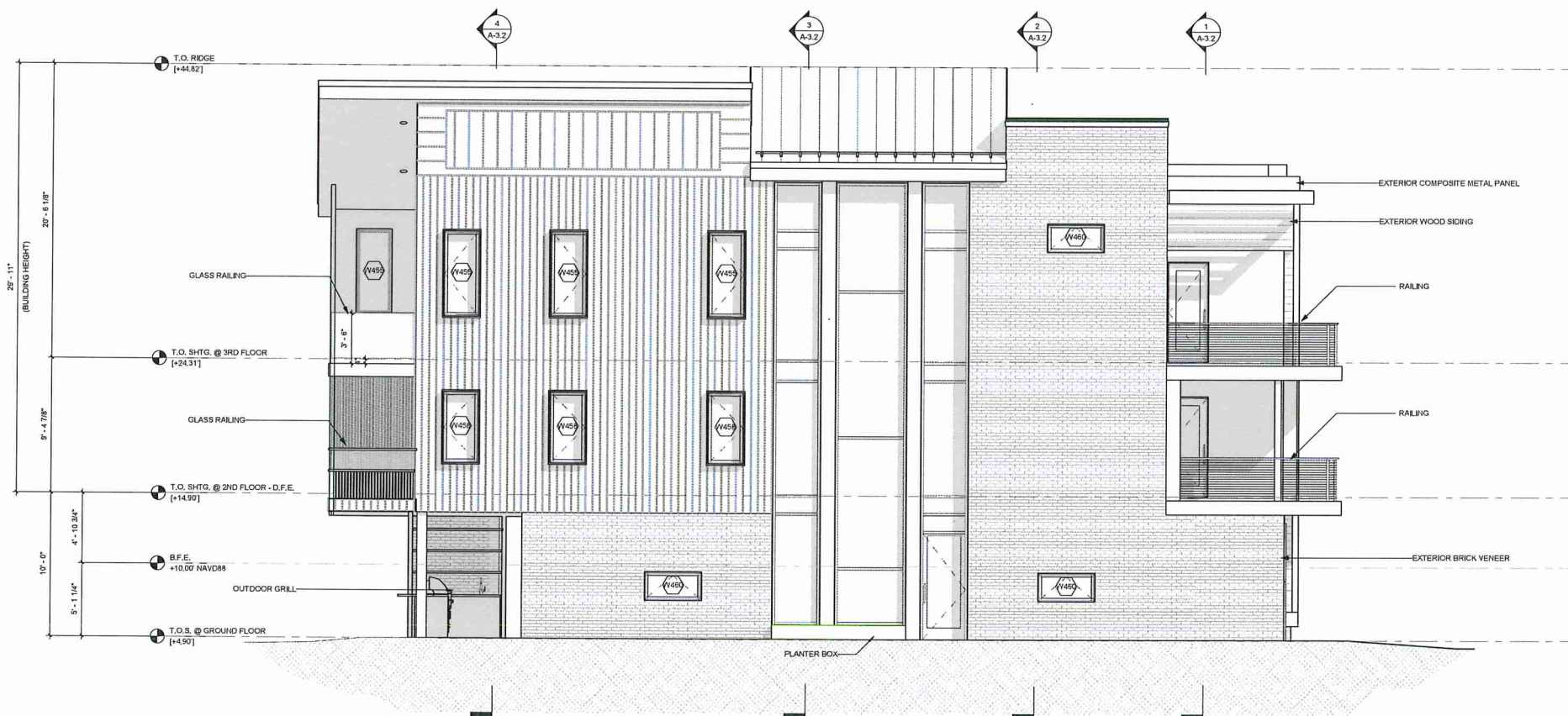
#	RELEASED FOR	DATE
	SCHEMATIC DESIGN	03/09/2023
	DESIGN DEVELOPMENT	06/18/2023
	ZONING SUBMISSION	07/27/2023

DRAWING NO.

A3.3



2 EAST BUILDING ELEVATION
SCALE: 1/4" = 1'-0"



1 WEST BUILDING ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. ALL PENETRATIONS THROUGH THE FINISHED EXTERIOR WALL, INCLUDING BRICK, STONE, METAL SIDING, METAL PANEL, FIBER CEMENT BOARD, STUCCO, AND THE LIKE SHALL BE CAREFULLY COORDINATED AND LOCATED IN APPROPRIATE LOCATIONS AND APPROVED BY THE ARCHITECT TO ENSURE A NEAT, ORGANIZED, AND SIGHTLY APPEARANCE. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS, SCALED SKETCHES, OR SCALED MARKED-UP ELEVATIONS INDICATING THE EXACT LOCATION OF ANY PROPOSED PENETRATIONS, GRILLS, REGISTERS, WALL CAPS, AND PIPE PENETRATIONS TO THE ARCHITECT FOR APPROVAL PRIOR TO THE INSTALLATION OF THE FINISHED EXTERIOR MATERIALS.

GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS ETC. PRIOR TO AND DURING CONSTRUCTION. ANY INCONSISTENCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR RESOLUTION OR VERIFICATION. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ANY INCONSISTENCIES BETWEEN THESE PLANS AND GOVERNING BUILDING CODES OR ORDINANCES. CONTRACTOR SHALL CHECK WITH THE ARCHITECT TEN DAYS PRIOR TO THE START OF CONSTRUCTION FOR ADDENDUMS OR BULLETINS.

PROJECT NAME:
COHEN RESIDENCE
107 NORTH MONROE AVENUE
MARGATE CITY, NJ 08402
ATLANTIC COUNTY

SHEET TITLE:
BUILDING ELEVATIONS

#	RELEASED FOR	DATE
1	SCHEMATIC DESIGN	03/09/2023
2	DESIGN DEVELOPMENT	06/18/2023
3	ZONING SUBMISSION	07/27/2023

DRAWING NO.

A-4.1

ELEVATION NOTES

1. ALL PENETRATIONS THROUGH THE FINISHED EXTERIOR WALL, INCLUDING BRICK, STONE, METAL, SIDING, METAL PANEL, FIBER CEMENT BOARD, STUCCO, AND THE LIKE SHALL BE CAREFULLY COORDINATED AND LOCATED IN APPROPRIATE LOCATIONS AND APPROVED BY THE ARCHITECT TO ENSURE A NEAT, ORGANIZED, AND SIGHTLY APPEARANCE. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS, SCALED SKETCHES, OR SCALED MARKED-UP ELEVATIONS INDICATING THE EXACT LOCATION OF ANY PROPOSED PENETRATIONS, GRILLS, REGISTERS, WALL CAPS, AND PIPE PENETRATIONS TO THE ARCHITECT FOR APPROVAL PRIOR TO THE INSTALLATION OF THE FINISHED EXTERIOR MATERIALS.

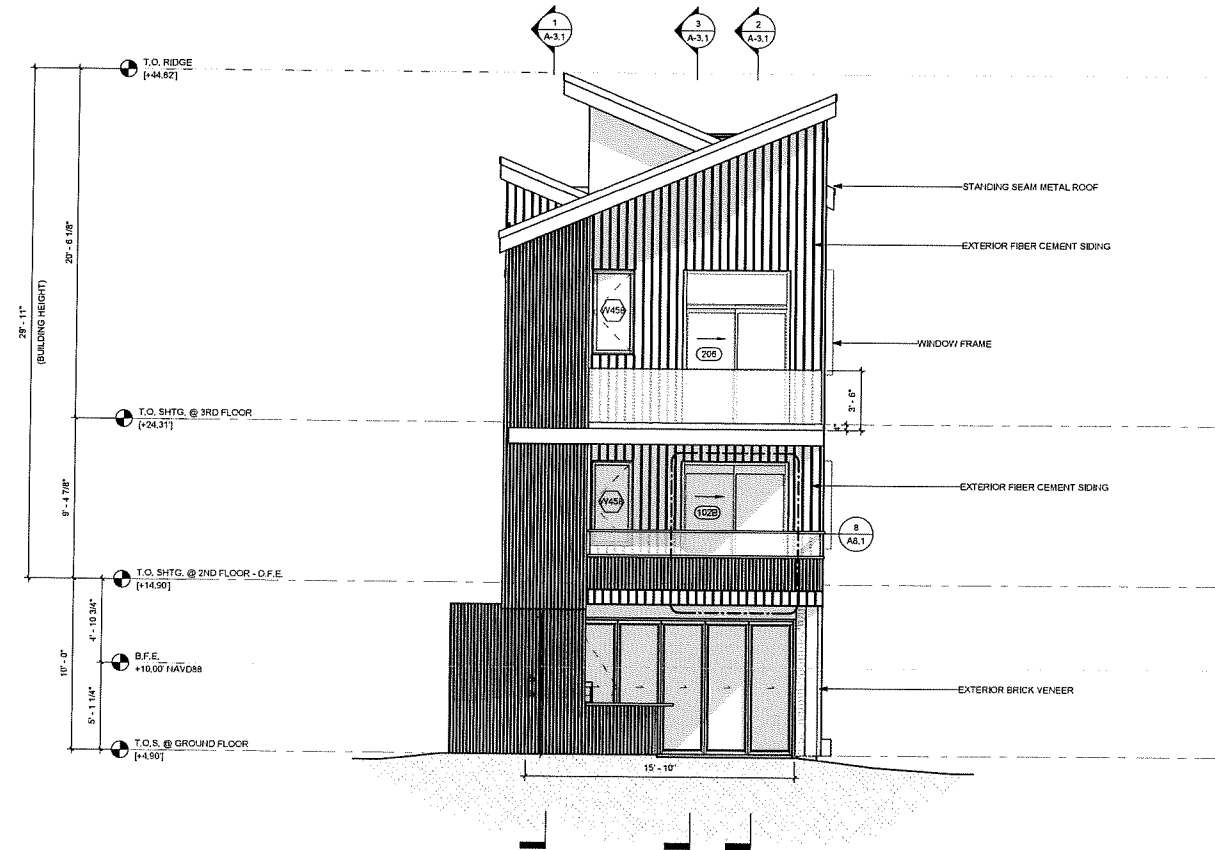
GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS ETC. PRIOR TO AND DURING CONSTRUCTION. ANY INCONSISTENCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION OF THE ARCHITECT FOR RESOLUTION OR VERIFICATION. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ANY INCONSISTENCIES BETWEEN THESE PLANS AND COVERED BUILDING CODES OR ORDINANCES. CONTRACTOR SHALL CHECK WITH THE ARCHITECT 10 DAYS PRIOR TO THE START OF CONSTRUCTION FOR ADDENDUMS OR BULLETINS.

PROJECT NAME:
COHEN RESIDENCE
 107 NORTH MONROE AVENUE
 MARGATE CITY, NJ 08402
 ATLANTIC COUNTY

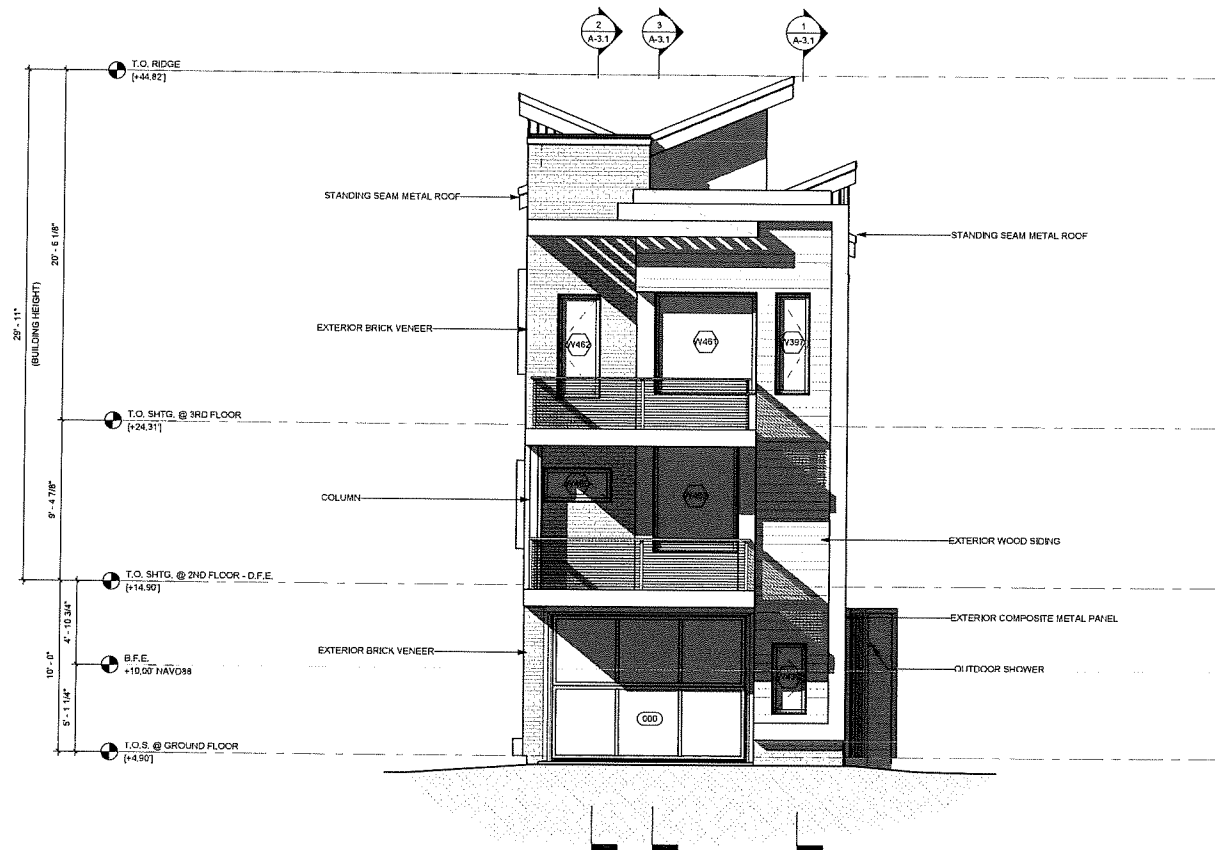
SHEET TITLE:
BUILDING ELEVATIONS

#	RELEASED FOR	DATE
	SCHEMATIC DESIGN	03/08/2023
	DESIGN DEVELOPMENT	06/18/2023
	ZONING SUBMISSION	07/27/2023

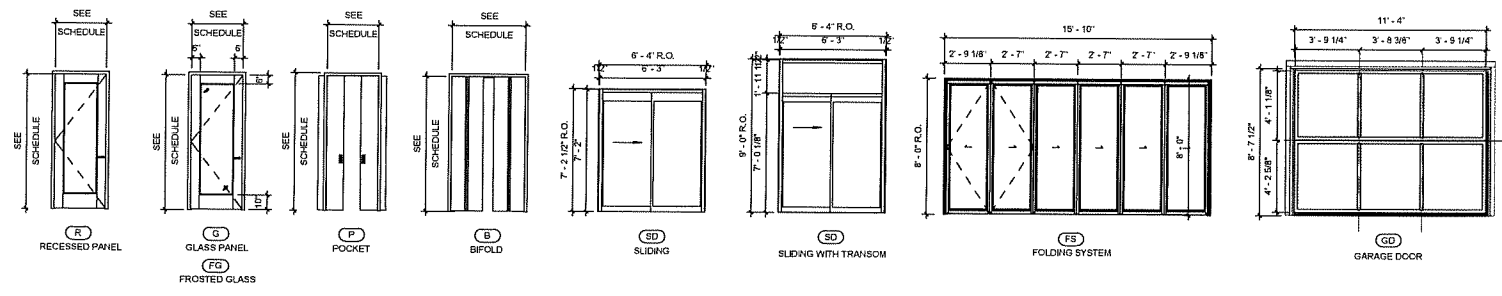
DRAWING NO. **A-4.2**



1 NORTH BUILDING ELEVATION
 SCALE: 1/4" = 1'-0"

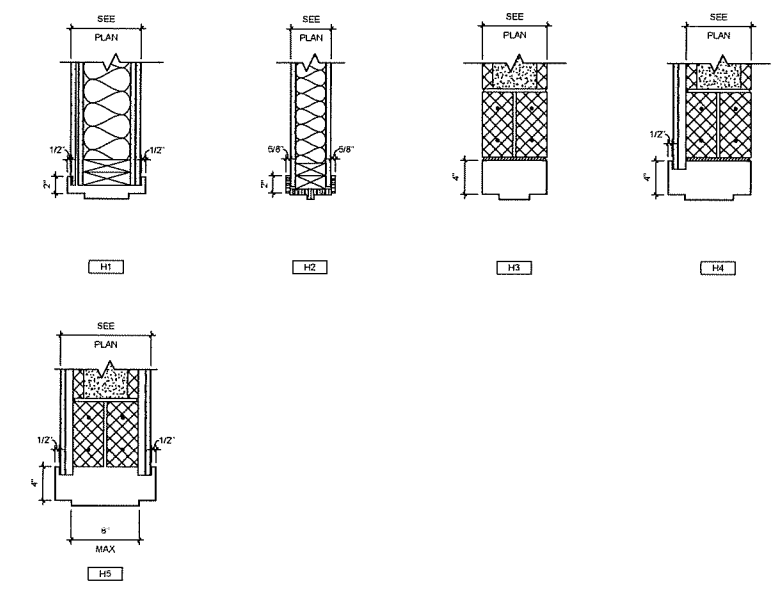


3 SOUTH BUILDING ELEVATION
 SCALE: 1/4" = 1'-0"

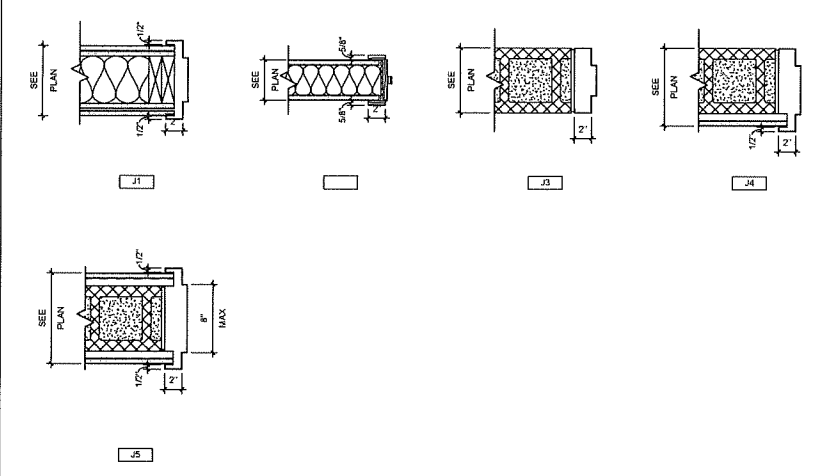


1 DOOR TYPES
SCALE 1/4" = 1'-0"

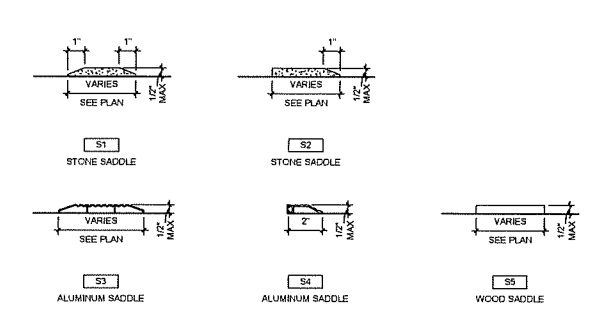
DOOR SCHEDULE - PUBLIC														
Level	NUMBER	ROOM NAME	DOOR SIZE	DOOR TYPE	MATERIAL	KICK PLATE	MATERIAL	FRAME HEAD TYPE	JAMB TYPE	SILL TYPE	HOWR SET	CLOSER	FIRE RATING	COMMENTS
T.O.S. @ GROUND FLOOR	000	GARAGE	-	-	-	-	-	-	-	-	-	-	-	GARAGE DOOR
T.O.S. @ GROUND FLOOR	001	VESTIBULE	-	-	ALUM	-	ALUM	-	-	-	-	-	-	SEE STOREFRONT SCHEDULE
T.O.S. @ GROUND FLOOR	002	STORAGE	3'-0" X 6'-0" X 1'-3/4"	G	HM	NO	HM	-	-	-	-	YES	-	-
T.O.S. @ GROUND FLOOR	003	STORAGE	2'-0" X 7'-0" X 1'-3/4"	R	WD	NO	WD	-	-	-	-	-	-	-
T.O.S. @ GROUND FLOOR	004	GARAGE	-	G	ALUM	-	ALUM	-	-	-	-	-	-	-
T.O.S. @ GROUND FLOOR	005	STORAGE	-	FS	ALUM	-	-	-	-	-	-	-	-	FOLDING WALL SYSTEM
T.O. SHTG. @ 2ND FLOOR - D.F.E.	101A	BEDROOM	2'-8" X 7'-0" X 1'-3/4"	R	WD	NO	WD	-	-	-	-	NO	-	-
T.O. SHTG. @ 2ND FLOOR - D.F.E.	101B	BEDROOM	2'-8" X 7'-0" X 1'-3/4"	G	ALUM	-	ALUM	-	-	-	-	-	-	-
T.O. SHTG. @ 2ND FLOOR - D.F.E.	101C	BEDROOM	2'-8" X 7'-0" X 1'-3/4"	R	WD	NO	WD	-	-	-	-	NO	-	-
T.O. SHTG. @ 2ND FLOOR - D.F.E.	101D	W.I.C.	(2) 1'-8" X 7'-0" X 1'-3/4"	P	WD	NO	WD	-	-	-	-	NO	-	-
T.O. SHTG. @ 2ND FLOOR - D.F.E.	102A	LOBBY	2'-8" X 7'-0" X 1'-3/4"	R	WD	NO	WD	-	-	-	-	NO	-	-
T.O. SHTG. @ 2ND FLOOR - D.F.E.	102B	BEDROOM	-	SD	ALUM	-	ALUM	-	-	-	-	-	-	SEE STOREFRONT SCHEDULE
T.O. SHTG. @ 2ND FLOOR - D.F.E.	102C	BEDROOM	2'-8" X 7'-0" X 1'-3/4"	R	WD	NO	WD	-	-	-	-	NO	-	-
T.O. SHTG. @ 2ND FLOOR - D.F.E.	103A	BEDROOM	2'-8" X 7'-0" X 1'-3/4"	R	WD	NO	WD	-	-	-	-	NO	-	-
T.O. SHTG. @ 2ND FLOOR - D.F.E.	103B	BATH	2'-8" X 7'-0" X 1'-3/4"	R	WD	NO	WD	-	-	-	-	NO	-	-
T.O. SHTG. @ 2ND FLOOR - D.F.E.	104	LOBBY	1'-8" X 7'-0" X 1'-3/4"	R	WD	NO	WD	-	-	-	-	NO	-	-
T.O. SHTG. @ 2ND FLOOR - D.F.E.	105	LAUNDRY	(2) 2'-2" X 7'-0" X 1'-3/4"	B	WD	NO	WD	-	-	-	-	NO	-	-
T.O. SHTG. @ 3RD FLOOR	201A	BEDROOM	2'-8" X 7'-0" X 1'-3/4"	R	WD	NO	WD	-	-	-	-	NO	-	-
T.O. SHTG. @ 3RD FLOOR	201B	BEDROOM	2'-8" X 7'-0" X 1'-3/4"	G	ALUM	-	ALUM	-	-	-	-	-	-	-
T.O. SHTG. @ 3RD FLOOR	201C	CLOSET	(2) 2'-0" X 7'-0" X 1'-3/4"	B	WD	NO	WD	-	-	-	-	NO	-	-
T.O. SHTG. @ 3RD FLOOR	202	LOBBY	2'-8" X 7'-0" X 1'-3/4"	R	WD	NO	WD	-	-	-	-	NO	-	-
T.O. SHTG. @ 3RD FLOOR	203	LOBBY	2'-8" X 7'-0" X 1'-3/4"	R	WD	NO	WD	-	-	-	-	NO	-	-
T.O. SHTG. @ 3RD FLOOR	204	LIN	2'-0" X 7'-0" X 1'-3/4"	R	WD	NO	WD	-	-	-	-	NO	-	-
T.O. SHTG. @ 3RD FLOOR	205	STORAGE	2'-4" X 7'-0" X 1'-3/4"	FG	HM	NO	HM	-	-	-	-	YES	-	-
T.O. SHTG. @ 3RD FLOOR	206	LIVING ROOM	-	SD	ALUM	-	ALUM	-	-	-	-	-	-	SEE STOREFRONT SCHEDULE



2 DOOR HEAD DETAILS
SCALE 1 1/2" = 1'-0"



3 DOOR JAMB DETAILS
SCALE 1 1/2" = 1'-0"



4 DOOR SILL DETAILS
SCALE 3" = 1'-0"

- DOOR NOTES**
- SEE PLANS FOR ACTUAL QUANTITIES AND CONFIGURATIONS.
 - BOTTOM 10" OF ALL DOOR SURFACES ON THE PUSH SIDE OF THE DOOR SHALL BE SMOOTH AND FREE OF OBSTRUCTIONS FOR THE FULL WIDTH OF THE DOOR, INCLUDING DOOR STOPS, FALLS, ETC.
 - DOORS LOCATED ON ACCESSIBLE ROUTE SHALL NOT BE RECESSED MORE THAN 8" INTO WALL.

- DOOR HARDWARE NOTES**
- ALL FIRE DOORS SHALL HAVE NECESSARY HARDWARE AS REQUIRED BY CODE TO MAINTAIN FIRE-RATING OF WALL AND DOOR ASSEMBLIES. MAXIMUM PUSHING OR PULLING OPENINGS FORCES FOR DOORS SHALL BE 8 LBS. DOOR CLOSERS SHALL HAVE SWEET SPACES SO THAT THE DOOR WILL TAKE A MINIMUM OF 5 SECONDS TO MOVE FROM IT'S CLOSED OPENING POSITION TO A POSITION WHERE THE LEADING EDGE OF THE DOOR IS 3" FROM THE JAMB.
 - THE CONTRACTOR SHALL SUBMIT TO THE OWNER ALL LOCKET KEYS PROPERLY LABELED AND COORDINATED WITH EACH DOOR INSTALLED IN THE RESIDENTIAL UNITS.
 - PROVIDE COMPATIBLE FLOORWALL AND COME STOPS, DOOR SILENCERS (MIN 13 PER DOOR) FOR ALL SWINGING DOORS. ALL APERTURE ENTRY DOORS SHALL HAVE 200 DEGREE PEEP-HOLE. SUBMIT SELECTION CHART TO OWNER FOR APPROVAL.
 - ALL PAIR DOORS TO HAVE REQUIRED HARDWARE FITTINGS, TRIM, LATCH AND STRIKE PLATE. SLICE FLUSH BOLTS BY HAGER OR APPROVED EQUAL.
 - PROVIDE THERMAL BARRIER THRESHOLD DOOR BOTTOMS, JAMB, AND MEETING STILE WEATHERSTRIPS FOR ALL EXTERIOR DOORS.
 - ALL DOOR HARDWARE TRIM FINISH TO BE NO. 302 SATIN CHROME. VERIFY SELECTION WITH OWNER.
 - DOOR HARDWARE TRIM DESIGN SHALL BE VERIFIED WITH OWNER FOR FINAL APPROVAL. DATA PROVIDED IN HARDWARE SET IS FOR DESIGN INFORMATION ONLY.
 - ALL HOLLOW METAL FRAMES SHALL BE WELDED. WELDS TO BE GRIND SMOOTH AND POLISHED PRIOR TO PRIME AND FINISH PAINTING.
 - SEE TECHNICAL SPECIFICATIONS FOR DOOR HARDWARE SCHEDULE.
 - ALL OPERABLE PARTS OF HARDWARE MUST BE MOUNTED BETWEEN 48" AND 48 1/2" T.
 - HARDWARE MUST BE ABLE TO BE EASILY GRASPED WITH ONE HAND. HARDWARE MUST REQUIRE NO TIGHT PINCHING, TWISTING OF THE WRIST, OR GRASPING TO OPERATE. LEVER HARDWARE LOCK MUST NOT HAVE PUSH AND TWIST BUTTONS.
 - COORDINATE WITH AUDIO/VIDEO AND LOW VOLTAGE DRAWINGS FOR ADDITIONAL INFORMATION AND SECURITY DOOR HARDWARE.

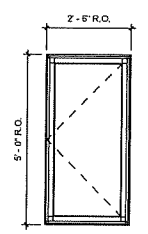
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PROJECT NAME:
COHEN RESIDENCE
107 NORTH MONROE AVENUE
MARGATE CITY, NJ 08402
ATLANTIC COUNTY

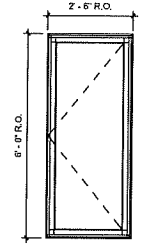
SHEET TITLE:
DOOR SCHEDULE AND DETAILS

#	RELEASED FOR	DATE
	SCHEMATIC DESIGN	03/05/2023
	DESIGN DEVELOPMENT	06/18/2023
	ZONING SUBMISSION	07/27/2023

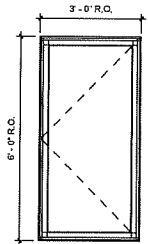
DRAWING NO. **A8.1**



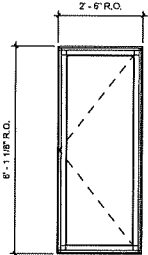
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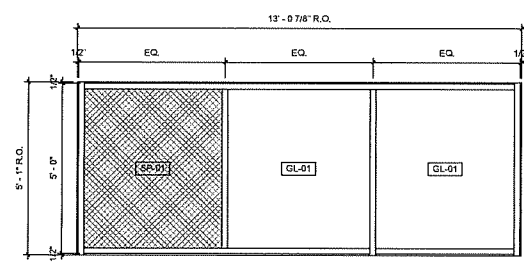
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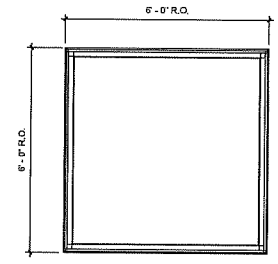
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MATERIAL MATERIAL
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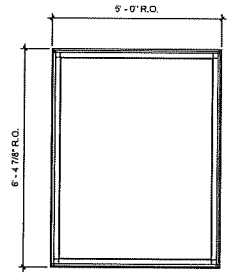
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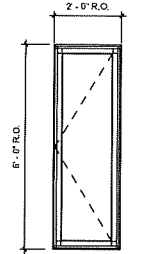
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COLOR COLOR



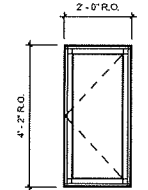
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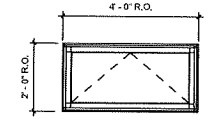
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MATERIAL MATERIAL
COLOR COLOR



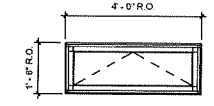
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COLOR COLOR



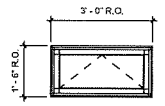
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MATERIAL MATERIAL
COLOR COLOR



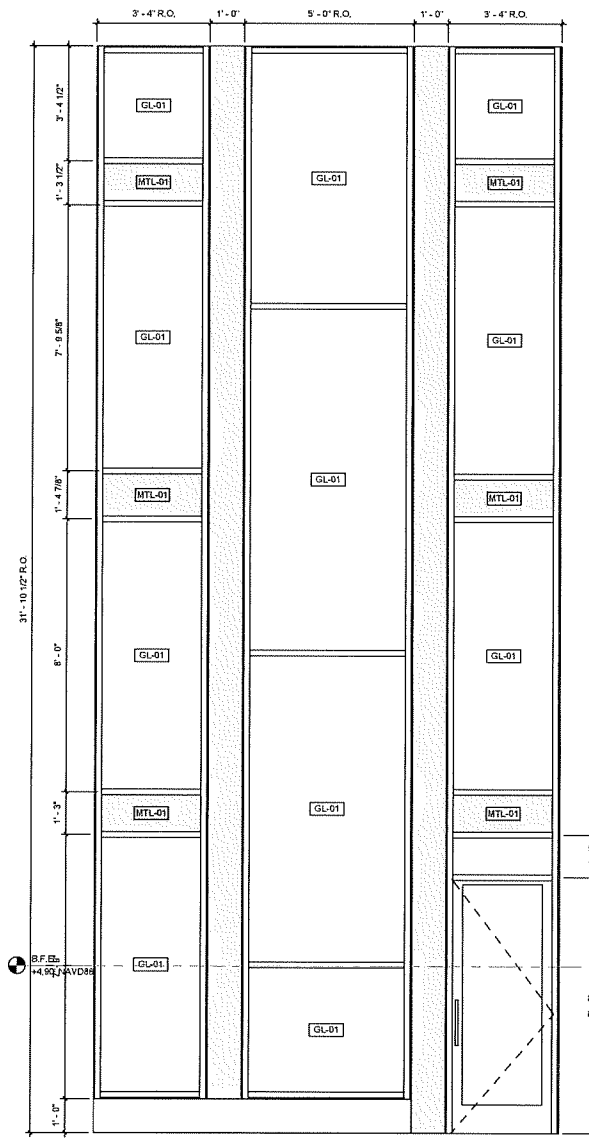
TYPE TYPE
MATERIAL MATERIAL
COLOR COLOR



TYPE TYPE
MATERIAL MATERIAL
COLOR COLOR



TYPE TYPE
MATERIAL MATERIAL
COLOR COLOR



TYPE TYPE
MATERIAL MATERIAL
COLOR COLOR

- WINDOW NOTES**
- WINDOW AND DOOR COLORS TO BE CUSTOM COLORS AS SELECTED BY ARCHITECT. SUBMIT COLOR SAMPLES FOR APPROVAL BEFORE ORDERING AND FABRICATION. REFER TO ELEVATIONS FOR WINDOW COLOR LOCATIONS.
 - ALL WINDOWS AND PATIO DOORS TO BE COMPLIANT WITH ICC/ANSI A117.1 ACCESSIBILITY GUIDELINES. HARDWARE AND OPERATORS SHALL COMPLY WITH HEIGHT, REACH, AND GRASPABILITY REQUIREMENTS.
 - ALL WINDOWS SIZES TO BE VERIFIED IN FIELD. SUBMIT SHOP DRAWINGS INDICATING FIELD-CHECKED DIMENSIONS AND INSTALLATION DETAILS REQUIRED FOR A COMPLETE JOB.
 - THE CONTRACTOR SHALL VERIFY ACTUAL MASONRY OPENINGS PRIOR TO ORDERING THE WINDOW UNITS FOR FABRICATION. ALL FRAMES SHALL BE MECHANICALLY FASTENED.
 - ALL WINDOWS SHALL HAVE DOUBLE PANE INSULATED LOW-E GLASS PANELS. PROVIDE TEMPERED GLAZING AT ALL WINDOWS WITH SILL HEIGHT LESS THAN 18" FROM FLOOR OR WITHIN 24" OF DOOR SWING.
 - ALL JOINTS TO BE FACTORY SEALED. MULTIPLE WINDOW UNITS TO BE FACTORY MULLED.
 - PROVIDE WOOD STOOL AT INTERIOR SIDE OF WINDOW SILLS.
 - GRILLES AND DIVIDED LITES SHALL BE SIMULATED DIVIDED, FACTORY INSTALLED, AND SHALL BE APPROVED IN SHOP DRAWINGS PRIOR TO FABRICATION.
 - ALL WINDOWS AND PATIO DOORS SHALL HAVE LINTELS AND HEADERS AS REQUIRED.
 - THE CONTRACTOR SHALL FURNISH ALL WINDOWS IN RESIDENTIAL UNITS WITH HORIZONTAL BLINDS AND ALL SIDING DOORS WITH VERTICAL BLINDS.
 - SEE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.

GLAZING SCHEDULE

UNITIZED CURTAIN WALL SYSTEM
GL-01 VISION GLASS CLEAR

GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL CONDITIONS ETC. PRIOR TO AND DURING CONSTRUCTION. ANY INCONSISTENCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR RESOLUTION OR VERIFICATION. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ANY INCONSISTENCIES BETWEEN THESE PLANS AND GOVERNING BUILDING CODES OR ORDINANCES. CONTRACTOR SHALL CHECK WITH THE ARCHITECT TEN DAYS PRIOR TO THE START OF CONSTRUCTION FOR ADDENDUMS OR BULLETINS.

PROJECT NAME:
COHEN RESIDENCE
107 NORTH MONROE AVENUE
MARGATE CITY, NJ 08402
ATLANTIC COUNTY

SHEET TITLE:
WINDOW SCHEDULE

#	RELEASED FOR	DATE
	SCHEMATIC DESIGN	03/09/2023
	DESIGN DEVELOPMENT	06/18/2023
	ZONING SUBMISSION	07/27/2023

DRAWING NO. **A8.2**



**City of Margate City
Staff Committee Action - Planning Board**

Block	Lot	Applicant Name
330	399	Neal and Carol Cohen
District	Address of Subject Application	
MF	107 North Monroe Avenue	

Dear (Name of Submitting Party) Eric S. Goldstein, ESQ

Your submittal was considered at the Staff Committee meeting of Thursday, April 13, 2023

The action(s) required prior to building permit are:

staff committee met and discussed the application and agreed that variances are required including for existing non-conforming lot area and width. A pool equipment setback variance is needed, A pool setback for eah side and rear yard are required. There is currently not a structure on the site as it has been removed. minimum roof pitch requires a variance. Height of the building is not shown.

The matter will be placed on the agenda of the Planning Board at 6:30PM on Thursday, May 25, 2023

Applications will be accepted on a first-come first-served basis. If the agenda becomes over-crowded, you will be rescheduled the following month. If you decide, for whatever reason, not to appear on this date, you must notify the Board Administrator as early as possible. The following month's agenda cannot be gauranteed.

The following conditions and special considerations must be addressed as part of your application to the Board:

front yard setback requirements have not been provided. Landscape coverage calculations are not accurate. Stone infill is not permitted unless its in a planting bed, not ground cover. There is no way that front yard landscaping of 92% id being provided. Curb cut is not shown, street trees are not shown, shrubs are not shown, heights of decks in rear yard are not clealry shown. Multiple variances are required and are not identified or shown. Suggest revising the plans fo reduce the variances aespecially all pool related variances. Why is there a gate in the rear yard? Plans must be signed and sealed by a NJ licensed engineer. Base flood and design flood elevations must be shown. Borderline incomplete plans. If plans are not updated and upsized this will be incomplete.

APPLICATION FEES:

D Variance:	\$0.00	Court Reporter:	\$0.00
C Variance:	\$250.00	Other:	\$0.00
Site Plan:	\$0.00		\$0.00
Subdivision:	\$0.00		\$0.00
Conditional Use Permit:	\$0.00		\$0.00

Applicant shall combine all application fees into one separate check made out to the City of Margate. Escrow fees shall be a separate check made out to the City of Margate. NOTE: If an Escrow deposit is requested, a W9 form must be submitted with the Escrow check. Any Escrow funds will be refunded to the name and address indicated on the W9 form.

Please note that in proceeding further with the formal Board Application, you are responsible for satisfying all of the checklist particulars in the appropriate section(s) of the Administrative Regulations. The instructions and checklist for your particular application can be found on the following pages of this booklet: 1-19

You must also comply with the more detailed requirements of the Margate City Land Development Ordinance.

In order for you to be able to appear on the Board Agenda as per the above date, all application material must be submitted by 11:00am, Wednesday, May 03, 2023

Palma Accardi
Planning Board Administrator
Thursday, April 13, 2023

**Nehmad
Davis & Goldstein**

NDG

Nehmad Davis & Goldstein, PC
Counselors at Law
www.ndglegal.com

Eric S. Goldstein
Managing Partner

egoldstein@ndglegal.com

4030 Ocean Heights Avenue
Egg Harbor Township, NJ 08234

t 609 927 1177

f 609 926 9721

March 29, 2023

VIA HAND-DELIVERY

Roger D. McLarnon, PE, PP, CME, CFM, CPWM, QPA
Planning Engineering Zoning and Purchasing
City of Margate
Margate Planning and Zoning Board
Municipal Building
9001 Winchester Avenue
Margate, NJ 08402

RE: Application of Neal and Carol Cohen
107 N. Monroe Avenue
Block 330, Lot 399
Margate, Atlantic County, New Jersey
Our File No. 13211-001

Dear Mr. McLarnon:

Please be advised that I represent the above-referenced property owner with regard to their application to the City of Margate Planning Board for certain "c" variance relief for the expansion of the first-floor deck at the existing single-family home.

I enclose the following information for staff committee review:

1. Original Staff Committee Review Application;
2. Architectural plans of the subject property prepared by Matthew Peka, Architect dated March 6, 2023, consisting of six (6) sheet;
3. My firm's check payable to the City of Margate in the amount of \$25.00 representing the Staff Committee Review Application fee.

I am submitting this application and documentation in order to be placed on the Staff Committee's next available agenda. Please do not hesitate to contact me if you have any further questions from the applicant or require any further documentation to be submitted.

Roger D. McLarnon, PE, PP, CME, CFM, CPWM, QPA
City of Margate Planning Board
March 29, 2023
Page 2

Thank you.

Very truly yours,

NEHMAD, DAVIS & GOLDSTEIN, P.C.

By: 

ERIC S. GOLDSTEIN

ESG/Imm/jc
Enclosures
13211-001/42575

8. Answer the following as to:	<u>Existing Condition</u>	<u>Proposed Condition</u>
a. Size and Dimension of Lot:	2,750 sf.	2,500 sf.
b. Size, Dimensions of Buildings:	_____	_____
c. Height of Buildings (Feet):	N/A	25 ft.
d. Height of Buildings (Stories):	N/A	2 over parking
e. % of Coverage on Land:	N/A	25%
f. Front Yard Setback:	N/A	15 ft.
g. Rear Yard Setback:	N/A	25.4 ft.
h. Side Yard Setbacks:	N/A	3.1 (left and right)

9. According to the Administrative Regulations, a scaled drawing must accompany this Application. If available, a survey would be appreciated. In addition, use this space to provide a detailed narrative description of the proposed action. Attach additional paper, if necessary:

(THIS SECTION MUST BE COMPLETED)

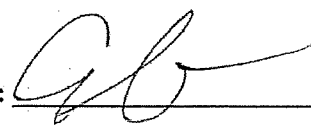
The applicant seeks variance relief for the width of the house and side yard setbacks.

10. Although the Staff Committee will determine the correct legal steps, what are the actions requested. (check more than one, if applicable):

- | | |
|---|---|
| <input type="checkbox"/> Subdivision | <input type="checkbox"/> Site Plan |
| <input checked="" type="checkbox"/> C-Variance(s) | <input type="checkbox"/> Conditional Use Permit |
| <input type="checkbox"/> D-(Use) Variance | <input type="checkbox"/> Other: _____ |

11. Which variances are needed, if any? _____
Side yard setbacks.

12. IF THERE HAS BEEN ANY PREVIOUS STAFF COMMITTEE OR FORMAL BOARD APPLICATION AND/OR ACTION ON THIS PROPOSAL PROPERTY, PLEASE ATTACH RELEVANT DOCUMENTS, AND PROVIDE INFORMATION HERE: _____

Signature of Submitting Party:  _____

Print or Type Name: Eric S. Goldstein, Esquire - Attorney for Applicant

THESE PLANS AND SPECIFICATIONS SHALL BE REVIEWED BY THE ARCHITECT AND APPROVED BY THE CITY AND COUNTY ENGINEER. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

GENERAL CONTRACTOR TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND COUNTY ENGINEER. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

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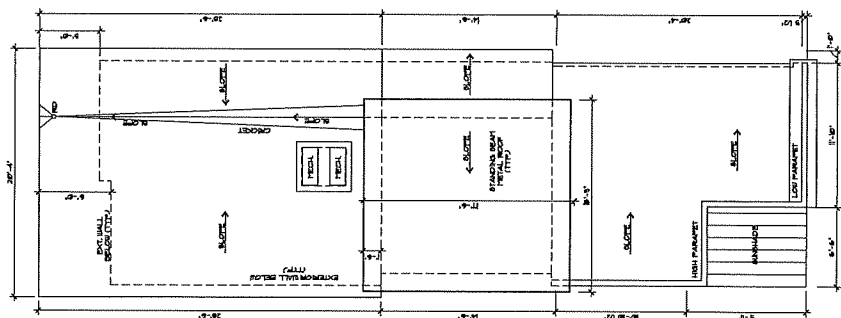
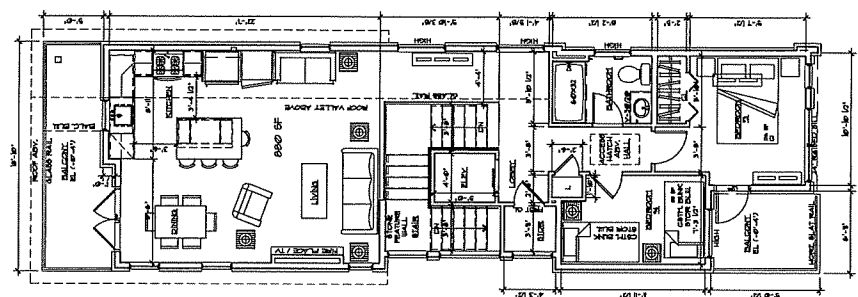
NOT FOR CONSTRUCTION
2023-07-07
FOR CONGRESS

CUBEN RESIDENCE
10000 AVENUE
WILMINGTON, NORTH CAROLINA
ATLANTIC COUNTY

ARCHITECTURAL PLANS
SHEET TITLE

REVISED FOR: DATE: 11/11/22
BY: ARCHITECTURAL DESIGN: BOWMAN
DESIGN DEVELOPMENT: 100

A-2.1.2
DRAWING NO.
3 OF 6



SECOND FLOOR PLAN 03

ROOF PLAN 04



1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS OF THE CITY AND COUNTY OF ATLANTA, GEORGIA, AND THE STATE OF GEORGIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

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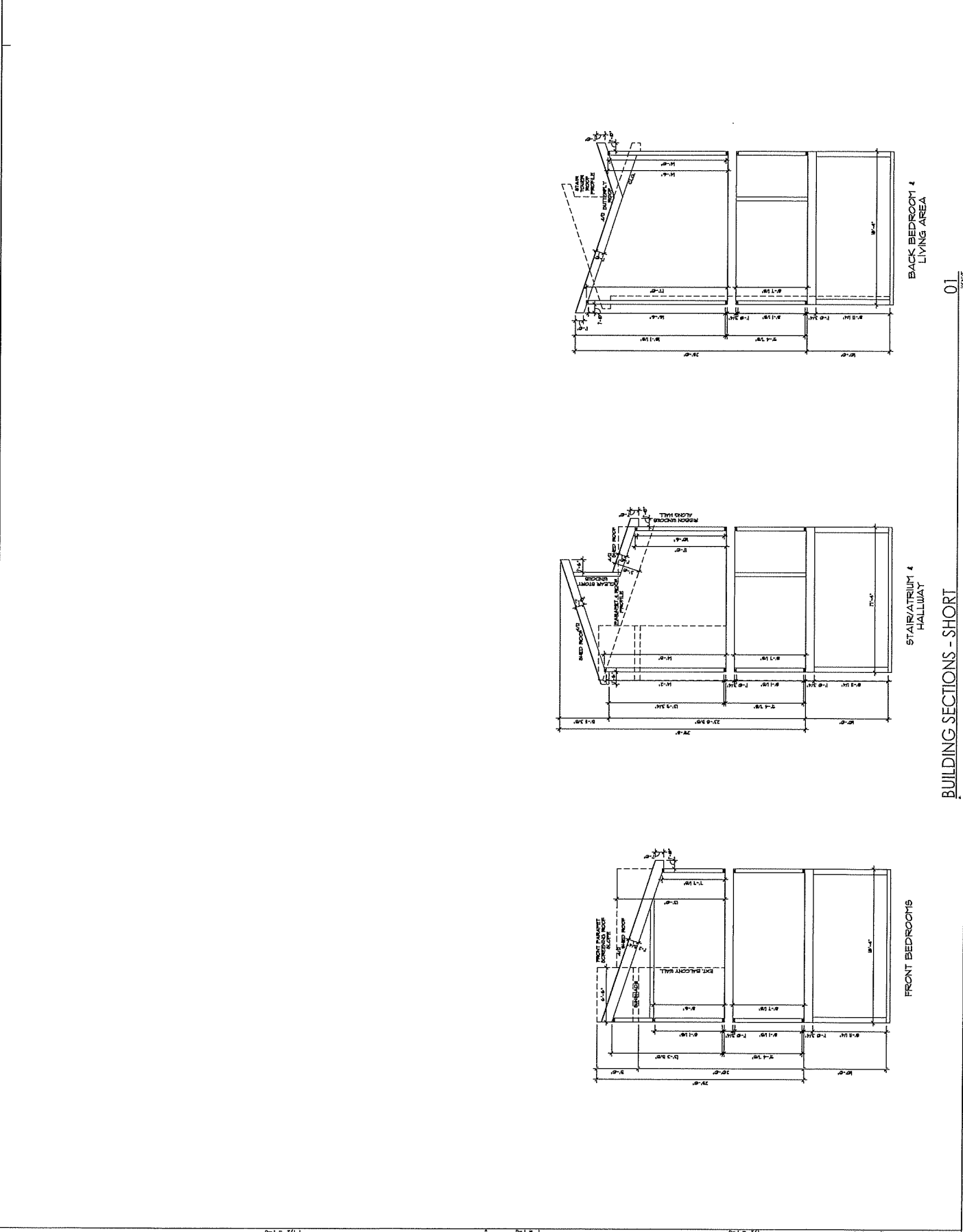
NOT FOR CONSTRUCTION
 2023-03-07
 PROJECT ADDRESS

COHEN RESIDENCE
 107 NORTH MEMORIAL AVENUE
 ATLANTA, GEORGIA
 ATLANTA COUNTY

SHEET TITLE
 BUILDING SECTIONS

DATE
 DRAWN BY
 CHECKED BY
 DESIGN DEVELOPMENT

A-3.1
 DRAWING NO.
 4 OF 5



NEHMAD DAVIS & GOLDSTEIN, P.C.
Attorney Business Account
4030 Ocean Heights Avenue
Egg Harbor Township, NJ 08234

REPUBLIC BANK
PHILADELPHIA, PA 19102
3-224/360

3531

03/28/2023

PAY TO THE ORDER OF City of Margate

\$25.00*

Twenty Five and 00/100*****

DOLLARS

PROTECTED AGAINST FRAUD



City of Margate
City of Margate
9001 Winchester Avenue
Margate City, NJ 08402



[Handwritten Signature]



MEMO

13211-1 (JC)

⑈003531⑈ ⑆036002247⑆ 904 122 21⑈

NEHMAD DAVIS & GOLDSTEIN, P.C.

3531

03/28/2023

City of Margate

Matter No.	Client	Matter Description	Reason	Amount
13211-001	Cohen	Zoning / Land Use	Staff Committee	\$25.00

Republic Bank Checking Account

***25.00*

NEHMAD DAVIS & GOLDSTEIN, P.C.

3531

03/28/2023

City of Margate

Check No.

3531

Matter No.	Client	Matter Description	Reason	Amount
13211-001	Cohen	Zoning / Land Use	Staff Committee	\$25.00

PAYMENT RECORD

Republic Bank Checking Account

***25.00*



INST # 2021011396
 RECD 02/25/2021 VOL 14952
 RCPT # 1587092 RECD BY LH (5 PGS)
 CON \$287,000.00 RTF \$1,613.60
 EDWARD P. McGETTIGAN, COUNTY CLERK
 ATLANTIC COUNTY, NJ




Atlantic County Document Summary Sheet

ATLANTIC COUNTY CLERK
 5901 MAIN ST
 MAYS LANDING, NJ 08330

Return Name and Address _____
 Trident Land Transfer Co. NJ
 3 Executive Campus
 Suite 100
 Cherry Hill, NJ 08002

Official Use Only

Submitting Company		Trident Land Transfer Co. NJ			
Document Date (mm/dd/yyyy)		12/22/2020			
Document Type		DEED 			
No. of Pages of the Original Signed Document (Including the cover sheet)		5			
Consideration Amount (If applicable)		\$287,000.00			
First Party <i>(Grantor or Mortgagor or Assignor)</i> <i>(Enter up to five names)</i>	Name(s) <i>(Last Name, First Name Middle Initial, Suffix)</i> <i>(or Company Name as written)</i>	Address (Optional)			
	O'Hara, Shaun M.		_____		
Second Party <i>(Grantee or Mortgagee or Assignee)</i> <i>(Enter up to five names)</i>	Name(s) <i>(Last Name, First Name Middle Initial, Suffix)</i> <i>(or Company Name as written)</i>	Address (Optional)			
	Cohen, Neal A. Cohen, Carol A.		_____		
Parcel Information <i>(Enter up to three entries)</i>	Municipality	Block	Lot	Qualifier	Property Address
	Margate <input checked="" type="checkbox"/>	330	399		107 North Monroe Ave
Reference Information <i>(Enter up to three entries)</i>	Book Type	Book	Beginning Page	Instrument No.	Recorded/File Date
	_____		_____		_____
DO NOT REMOVE THIS PAGE					
DOCUMENT SUMMARY SHEET (COVER SHEET) IS PART OF ATLANTIC COUNTY FILING RECORD. RETAIN THIS PAGE FOR FUTURE REFERENCE.					

Deed

This Deed is made on December 22, 2020, *Delivered on December 28 2020*

BETWEEN

SHAUN M. O'HARA, single man, residing at 420 Captain's Cove - Unit B, Edenton, NC 27932,
referred to as the Grantor(s)

AND

NEAL A. COHEN and CAROL A. COHEN, husband and wife, residing at 1170 Old Jordan Road, Holland, PA 18966

referred to as the Grantee.

The words "Grantor" and "Grantee" shall mean all Grantors and all Grantees listed above.

- 1. Transfer of Ownership.** The Grantor grants and conveys (transfers ownership of) all of his right, title, and interest in and to the property described below (hereinafter called the "Property") described below to the Grantee, to have and to hold. This transfer is made for the sum of \$287,000.00/xxx (Two Hundred Eighty-seven Thousand Dollars).

The Grantor acknowledges receipt of this money.

- 2. Tax Map Reference.** (N.J.S.A. 46:15-1.1) City of Margate
Block No. 330 Lot No. 399 Qualifier No. Account No.
 No property tax identification number is available on the date of this Deed. (Check box if applicable.)

- 3. Property.** The Property consists of the land and all buildings and structures on the land in the City of Margate, County of Atlantic and State of New Jersey. The legal description is:

Please see attached Legal Description annexed hereto and made a part hereof.

(CONTINUED NEXT PAGE)

Prepared by: *(print signer's name below signature)*

(For Recorder's Use Only)

SETH GROSSMAN, ESQUIRE

1

BEING the same lands and premises that Anthony F. Cocco & Anne Cocco, his wife, conveyed to Shaun M. O'Hara, single man, by Deed dated June 21, 1977 and recorded on June 23, 1977 in Deed Book 3134, p. 97, et seq. in the Atlantic County Clerk's Office.

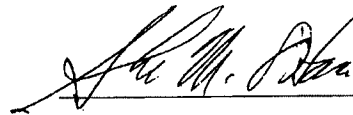
The street address of the Property is: 107 North Monroe Avenue, Margate, New Jersey 08402

Signatures. The Grantor signs this Deed as of the date at the top of the first page. (Print name below each signature).

Witnessed By:

_____ (Seal)

SHAUN M. O'HARA

 _____ (Seal)

STATE OF NEW JERSEY, COUNTY OF Atlantic SS:

I CERTIFY that on December 22, 2020

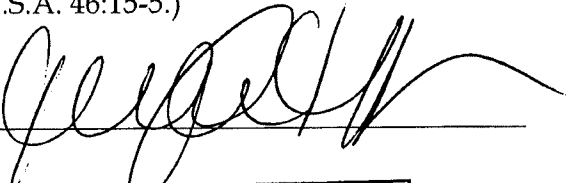
SHAUN M. O'HARA

personally came before me and stated to my satisfaction that this person (or if more than one, each person):

- (a) was the maker of this Deed;
- (b) executed this Deed as his or her own act; and
- (c) made this Deed for \$287,000.00 as the full and actual consideration paid or to be paid for the transfer of title. (Such consideration is defined in N.J.S.A. 46:15-5.)

RECORD AND RETURN TO:

J# 20N106517
CHARGE, RECORD RETURN
TRIDENT LAND TRANSFER CO, NJ
3 EXECUTIVE CAMPUS
SUITE 100
CHERRY HILL, NJ 08002



JENNIFER J. BROWN
NOTARY PUBLIC
STATE OF NEW JERSEY
MY COMMISSION EXPIRES JULY 7, 2025

GIT/REP-1
(8-19)

**State of New Jersey
Nonresident Seller's Tax Declaration**

(Print or type)

Seller's Information

Name(s)
Shaun M. O'Hara
Current Street Address: 420 Captains Cove Unit B
City, Town, Post Office Box Edenton State NC ZIP Code 27932

Property Information

Block(s) 330 Lot(s) 399 Qualifier
Street Address: 107 North Monroe Avenue
City, Town, Post Office Margate State New Jersey ZIP Code 08402

Seller's Percentage of Ownership 100.00% Total Consideration \$287,000.00 Owner's Share of Consideration \$287,000.00
Closing Date December 28, 2020

Seller's Declaration

The undersigned understands that this declaration and its contents may be disclosed or provided to the New Jersey Division of Taxation and that any false statement contained herein may be punished by fine, imprisonment, or both. I furthermore declare that I have examined this declaration and, to the best of my knowledge and belief, it is true, correct, and complete. By checking this box I certify that the Power of Attorney to represent the seller(s) has been previously recorded or is being recorded simultaneously with the deed to which this form is attached.

12/27/20 Date
[Signature] Signature (Seller) Indicate if Power of Attorney or Attorney in Fact

____ Date
____ Signature (Seller) Indicate if Power of Attorney or Attorney in Fact

Cut along dotted line

EXHIBIT "A"

The land referred to in this Commitment is described as follows:

LAND AND PREMISES situate in the City of Margate, County of Atlantic and State of New Jersey as follows:

BEGINNING at a found iron pin at a point in the northeasterly line of North Monroe Avenue (50.00 feet wide) said point being 100.00 feet northwest of the northwesterly line of Winchester Avenue (50.00 feet wide) and extending; thence

- (1) North 36 degrees 27 minutes 00 seconds West and parallel with North Monroe Avenue, a distance of 25.00 feet to a found iron pin at a point division line between Lot 401 and said Lot 399, Block 330; thence
- (2) North 53 degrees 33 minutes 00 seconds East and parallel with Winchester Avenue, a distance of 100.00 feet to a point in the division line between Lot 34.01 and said Lot 399, Block 330; thence
- (3) South 36 degrees 27 minutes 00 seconds East and parallel with North Monroe Avenue, a distance of 25.00 feet to a point in the division line between Lots 30, 34.01 and said Lot 399, Block 330; thence
- (4) South 53 degrees 33 minutes 00 seconds West and parallel with Winchester Avenue, a distance of 100.00 feet to the point and place of beginning.

THE ABOVE DESCRIBED tract or parcel of land and premises being described according to a Survey made by James R. Boney Professional Land Surveyor, dated December 16, 2020.

TAX NOTE: Being known as Block 330, Lot 399 on the official tax map (For informational purposes only).

20NJ06517



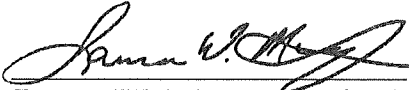
Office of the Tax Assessor
Municipal Building
9001 Winchester Ave.
Margate City, NJ 08402
Phone: 609-822-1950
Fax: 609-487-1142

RECEIVED
JUN 23 2023
NDG LEGAL

James W. Manghan, CTA
Tax Assessor

Eric S. Goldstein
Nehmad Davis & Goldstein, PC
4030 Ocean Heights Avenue
Egg Harbor Township, NJ 08234

Block: 330 Lot: 399
Location: 107 N Monroe Ave
Date: June 20, 2023


James W. Manghan, CTA
Tax Assessor

Your File No.: 13211-001

Tax list good for 60 days per Margate City Code Book (170-5)

www.margate-nj.com

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
230 25	WINCHESTER AVE	1	S J GAS CO ATTN: T S KAVANAUGH 1 S JERSEY PLAZA RT#54 FOLSOM, NJ 08037
230 27	WINCHESTER AVE	1	S J GAS CO ATTN: T S KAVANAUGH #1 S JERSEY PLAZA RTE #54 FOLSOM, NJ 08037
230 29 C000A	9614 WINCHESTER AVE	2	ANGELUCCI, JEFFREY & GINA M 10 LANE OF ACRES HADDONFIELD, NJ 08033
230 29 C000B	9614 WINCHESTER AVE	2	KOSYLA, GAIL W PO BOX 507 JAMISON, PA 18929
230 33	9612 WINCHESTER AVE	2	GARAY, JOHN 9612 WINCHESTER AVE MARGATE, NJ 08402
230 37	9606 WINCHESTER AVE	2	DOLINSKY, NEIL & SHARI L 9 SILVER MAPLE DR DOYLESTOWN, PA 18901
230 43	26 N MADISON AVE	2	ZRADA, STEPHEN E & FERN B 221 COUNTRY CLUB DR MOORESTOWN, NJ 08057
231 15	9704 WINCHESTER AVE 17	2	COPPOLA, PATRICIA B 9704 WINCHESTER AVE MARGATE, NJ 08402
231 21	9700 WINCHESTER AVE	2	DOMB, ALLAN 1845 WALNUT ST #2200 PHILADELPHIA, PA 19107
231 23	24 N MONROE AVE	2	JEFFERS, MARY E @ HUGH JEFFERS 1013 CHILDS AVE DREXEL HILL, PA 19026
330 30	103 N MONROE AVE	2	SOTTILE, ANTHONY 306 HICKORY LANE HADDONFIELD, NJ 08033
330 32 C013A	9613A WINCHESTER AVE	2	PETRICCIONE, F & OBERLIE, S 439 ABINGTON AVE GLENSIDE PA 19038
330 32 C013B	9613B WINCHESTER AVE	2	SPORER, NICHOLAS JOSEPH 1318 MARLBOROUGH ST PHILADELPHIA, PA 19125
330 32 C015A	9615A WINCHESTER AVE	2	KLEPPEL, JARRETT M & HILLARY B 839 PERKIOMEN STREET PHILADELPHIA, PA 19130

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
330 32 C015B	9615B WINCHESTER AVE	2	LONGPORT TRUST & STONE, SCOT & STEVEN 9990 GLOBAL RD PHILADELPHIA, PA 19115
330 34.01 C000A	9611 WINCHESTER AVE	2	STACY, BRIAN L & BEVERLY A 11 ISLAND AVENUE UNIT 609 MIAMI BEACH, FL 33139
330 34.01 C000B	9611 WINCHESTER AVE	2	ZILBERMAN, MAXIM & LILIAN 64 NELSON DRIVE CHURCHVILLE, PA 18966
330 34.02 C000A	9609 WINCHESTER AVE	2	LASKE, DOUGLAS W & RITA ANN 117 MINFFORD ROAD BALA CYNWYD, PA 19004
330 34.02 C000B	9609 WINCHESTER AVE	2	CATRAMBONE, JB, CATRAMBONE, B & E 9609 WINCHESTER AVENUE #B MARGATE, NJ 08402
330 34.03 C000A	9607 WINCHESTER AVE	2	RINGOLD, MICHAEL S & DEBORAH 10 CARRIAGE HOUSE CT CHERRY HILL, NJ 08003
330 34.03 C000B	9607 WINCHESTER AVE	2	GIBBONS, FREDERIC & KAREN 1551 E COBBLESTONE CIRCLE WARRINGTON, PA 18976
330 42	100 N MADISON AVE	2	MATTLEMAN, ROBERT & ELLEN 232 ZACHARY WAY YARDLEY, PA 19067
330 399	107 N MONROE AVE	1	COHEN, NEAL A & CAROL A 1170 OLD JORDAN ROAD HOLLAND, PA 18966
330 401	109 N MONROE AVE	2	KALISER, JEFFREY 230 DRESHERTOWN ROAD FT. WASHINGTON, PA 19034
330 402 C000A	106 N MADISON AVE	2	BLOCK, ROBERT & LINDA 106 N MADISON AVE #A MARGATE, NJ 08402
330 402 C000B	106 N MADISON AVE	2	ETKIN, MURIEL & RONALD 27 MOORLINCH BLVD MEDFORD, NJ 08055
330 402 C000C	106 N MADISON AVE	2	ZANGRILLI, MICHAEL S & LAUREN M 508 WOLFE DR FLORENCE, NJ 08518
330 402 C000D	106 N MADISON AVE	2	SCHNEIDER, ERIC & JUDY L 1710 OAKWOOD TERRACE #4E PENN VALLEY, PA 19072

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS	
330 402 C000E	106 N MADISON AVE	2	DELSON, GARY W & SHARON S 62 HALS DRIVE LANGHORNE, PA	19053.1520
330 405	111 N MONROE AVE	2	ZIENIUK, CHRISTINA 626 E MAIN ST MOORESTOWN, NJ	08057
330 407 C000A	113 N MONROE AVE	2	TUCKMAN, ROBERT 1948 BROOKE DRIVE NEW HOPE, PA	18938
330 407 C000B	113 N MONROE AVE	2	BERNARDI, AMMON J & ABIGAIL 569 S HEILBRON DR MEDIA, PA	19063
330 408	110 N MADISON AVE	2	CANNULI, CHARLES 1021 BOBWHITE DRIVE CHERRY HILL, NJ	08003
330 411 C000A	119 N MONROE AVE	2	LEVINE, NORMAN J & ROCHELLE D 119A N MONROE AVE MARGATE, NJ	08402
330 411 C000B	119 N MONROE AVE	2	LEBOFF, KENNETH & HILARY M 817 GREEN RIDGE CIRCLE LANGHORNE, PA	19053
330 412 C0001	112 N MADISON AVE	2	ROSEN, DAWN & MARK 112 N MADISON AVENUE #1 MARGATE, NJ	08402
330 412 C0002	112 N MADISON AVE	2	ADAMS, STEPHAN G & LISA 19 BELLEGROVE DRIVE MONTCLAIR, NJ	07043
330 415	121 N MONROE AVE	2	SABATINI, DONALD S & DOMINIC 7710 ORPOHEUS PLACE PHILADELPHIA, PA	19153
330 416	116-118 N MADISON AVE	2	WYNNE, JAMES & MONICA KAUFFMANN- 738 HAGNER STREET PHILADELPHIA, PA	19128
331 14	9711 WINCHESTER AVE	2	DIFABIO, WILLIAM & LAURI 2008 WINDING WAY BROOMALL, PA	19008
331 16	9709 WINCHESTER AVE	2	NEGRO JR, RICHARD P 2736 S 18TH ST PHILADELPHIA, PA	19145
331 20 C000A	9705 WINCHESTER AVE	2	GORDON, JEFFREY E & CINDY A 650 AMALIA LN SOUTHAMPTON, PA	18966

ADJACENT PROPERTY LISTING APPLICANT: NDG
TAXING DISTRICT 16 MARGATE CITY COUNTY 01 ATLANTIC

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
331 20 C000B	9705 WINCHESTER AVE	2	ORELLANA, CHARLES F & CAROL S 315 STRATHMORE DRIVE ROSEMONT, PA 19010
331 22	9703 WINCHESTER AVE	2	SCHECK, JOAN 140 WARRIOR ROAD DREXEL HILL, PA 19026
331 24.2	100 N MONROE AVE	2	ANTONOPOULOS, GEORGIO 114 BRACE ROAD CHERRY HILL, NJ 08003
331 24.3	100 N MONROE AVE	2	ANTONOPOULIS, GEORGIO 114 BRACE ROAD CHERRY HILL, NJ 08003
331 24.4	100 N MONROE AVE	2	ANTONOPOULOS, CANDACE 114 BRACE ROAD CHERRY HILL, NJ 08034
331 24.5	100 N MONROE AVE	2	ROSSIER-HANTH, WENDY B 803 LAKEVIEW COURT KING OF PRUSSIA, PA 19406
331 24.6	100 N MONROE AVE	2	MARKOWITZ, JANET L PO BOX 1627 ATLANTIC CITY, NJ 08404
331 24.7	100 N MONROE AVE	2	MARKOWITZ, JANET PO BOX 1627 ATLANTIC CITY, NJ 08404
331 26	102 N MONROE AVE	2	GOMBAR, W, SMITH, M E & EASTWOOD, J 102 N MONROE AVE MARGATE, NJ 08402
331 401	COOLIDGE AVE	1	TOMASZEWSKI JR, EDWARD C 2728 EAST ALLEGHANY AVE PHILADELPHIA, PA 19137
331 402 C000A	104 N MONROE AVE	2	GOLD, BETSY R & DAVID 25 GLENFIELD DR RICHBORO, PA 18954
331 402 C000B	104 N MONROE AVE	2	COHEN, KEITH J & ELLEN L 130 BELLE CIRCLE BLUE BELL, PA 19422
331 403	COOLIDGE AVE	1	TOMASZEWSKI JR., EDWARD C 2728 EAST ALLEGHANY AVE PHILADELPHIA, PA 19137
331 407	111 N COOLIDGE AVE	2	TOMASZEWSKI JR., EDWARD C 2728 EAST ALLEGHANY AVE PHILADELPHIA, PA 19134

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS	
331 408	110 N MONROE AVE 406	2	GORBIG, RITA 110 N MONROE AVE MARGATE, NJ	08402
331 410 C000A	112 N MONROE AVE	2	CMI REALTY LLC 1331 SADDLEBROOK LANE HUNTINGDON VALLEY, PA	19006
331 410 C000B	112 N MONROE AVE	2	LANZELOTTI, THOMAS J & LORI G 112 N MONROE AVENUE MARGATE, NJ	08402
331 414	114 N MONROE AVE	1	PIRAINO BUILDERS LLC PO BOX 3193 MARGATE, NJ	08402
331 418 C000A	118 N MONROE AVE 420	2	VARNER, PHILIP THOMAS 118 N MONROE AVENUE #A MARGATE, NJ	08402
331 418 C000B	118 N MONROE AVE 420	2	EHRESMAN, ERIC & JENNIFER 2017 CARMEL DRIVE JAMINSON, PA	18929
331 418 C000C	118 N MONROE AVE 420	2	ROTHBERG, ROBERT 619 REMINGTON DR YARDLEY, PA	19067
331 418 C000D	118 N MONROE AVE 420	2	D'ANJOLELL, NORMAN & JANET PO BOX 86 MT EPHRAIM, NJ	08059

UTILITIES TO BE NOTIFIED WITH TAXLIST

ATLANTIC CITY ELECTRIC
5100 HARDING HIGHWAY, SUITE 399
MAYS LANDING, NJ 08330

SOUTH JERSEY GAS COMPANY
VP CONSTRUCTION
1 SOUTH JERSEY PLAZA, RT. 54
FOLSOM, NJ 08037

COMCAST CABLE, GREG SMITH, PM
901 LEEDS AVENUE
ABSECON, NJ 08201

ITEMS PRINTED.....67

Tax Account Maintenance

Notes Exist

Block: 330

Lot: 399

Qualifier:

Owner: COHEN, NEAL A & CAROL A

Prop Loc: 107 N MONROE AVE Account Id: 00004552

Year	Qtr	Type	Billed	Principal Balance	Interest	Total Balance
2023	2		674.59	674.59	2.25	676.84
2023	1		674.60	.00	.00	.00
2023		Total	1,349.19	674.59	2.25	676.84
2022	4		313.28	.00	.00	.00
2022	3		313.28	.00	.00	.00
2022	2		1,035.91	.00	.00	.00

Other Delinquent Balances: .00 Interest Date: 05/16/23

Other APR2 Threshold Amt: .00 Per Diem: 1499 Last Payment Date: 03/06/2023

TOTAL TAX BALANCE DUE

Principal:	674.59	Penalty:	.00
Misc. Charges:	.00	Interest:	2.25
Total:		676.84	

* Indicates Adjusted Billing in a Tax Quarter.

CAROL A COHEN
1170 OLD JORDAN RD
HOLLAND, PA 18966-2659

13011-1

1365

3-50/310 9167
3014845071

6/29/23
Date

Pay to the
Order of

City of Margate
two hundred fifty

\$ 250.00

00/100 dollars



Security
Features
Detailed on
Back.



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Pennsylvania
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For

107 N. Monroe

Carol Cohen

MP

⑆031000503⑆ 301484507⑆ 01365