

SECTION A-A  
SCALE: 1/4"=1'-0"

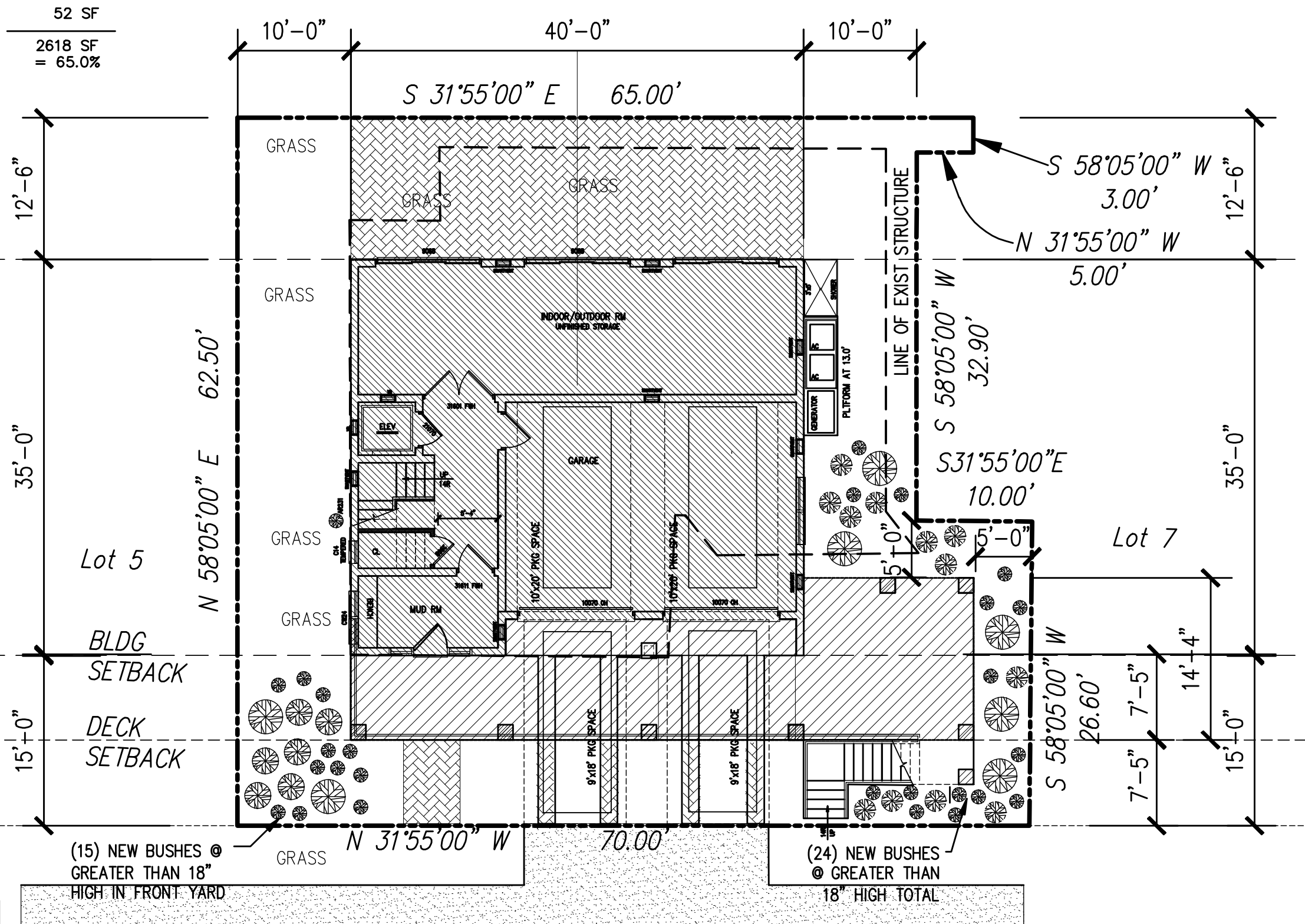
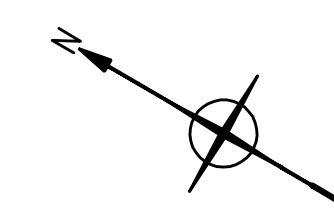


FRONT ELEVATION  
SCALE: 1/4"=1'-0"

NON-PERMEABLE:

HOUSE AND DECKS FOOTPRINT	1912 SF
FRONT DRIVE/WALK/STEPS	154 SF
PATIO	500 SF
UTIL DECK/SHOWER	52 SF
<b>TOTAL</b>	<b>2618 SF</b>
	<b>= 65.0%</b>

Block 13  
Lot 6  
4030 SF



MANSFIELD AVE.

SITE PLAN  
SCALE: 1"=10'-0"

STRUCTURE DESIGNED TO WITHSTAND 125 MPH WIND SPEED

STRUCTURE DESIGNED TO 2018 IRC REQUIREMENTS

ZONING SET  
01-22-2021

**BUILDING DATA**

USE GROUP	R-5
CONSTRUCTION CLASS	5A
GRADE FLOOR AREA:	1316 SF
FINISHED SQUARE FOOTAGE:	
1ST FL:	1400 SF
2ND FL:	1376 SF
3RD FL:	686 SF
TOTAL FINISHED:	3462 SF
FOOTPRINT (HOUSE): 1400 SF	
FOOTPRINT (DECKS): 512 SF	
FOOTPRINT (HOUSE & DECKS): 1912 SF	
HT FROM 1ST FL:	29'-10"

**SITE DATA**

ALL ELEVATIONS IN 1988 DATUM  
BASE FLOOD ELEVATION = 10.0'  
MIN FINISHED 1ST FLOOR = 14.0'

SCHEME C-3  
VARIANCES REQ'D FOR DECKS

STRUCTURE IS 5A, 1 HOUR RATING

**WINDOWS AND PATIO DOORS**

WINDOWS AND PATIO DOORS TO BE MANUFACTURED BY ANDERSEN. WINDOWS TO BE DOUBLEHUNG, CASEMENT, TRANSOM, OR SPECIALTY WINDOWS AS SHOWN ON PLANS. WINDOW/DOOR COLOR BY OWNER. WINDOWS/DOORS TO HAVE INSECT SCREENS. WINDOW HARDWARE STYLE AND COLOR BY OWNER.

**CONSTRUCTION NOTE**

CONTRACTOR TO VERIFY ALL STRUCTURAL ELEMENTS, THEIR SIZE AND LOCATION, AND ALL ROOF SLOPES PRIOR TO COMMENCEMENT OF WORK.

**STRUCTURAL NOTE**

ALL BEAM ENDS TO BE SUPPORTED BY A SOLID 4"x4" COLUMN. SUPPORT ALL BEAMS AND COLUMNS SOLID THROUGH FLOOR CAVITY TO BEARING ON FOUNDATION.

**TRIM NOTES**

ALL TRIM BOARDS, CORNER BOARDS AND WINDOW TRIM SHALL BE "AZEK" CELLULAR PVC TRIM, IN NATURAL SEMI-MATTE WHITE AND/OR SELECT PVC TRIM W/KYNAR AQUATEC COATING.

**SOIL STRENGTH NOTE**

BUILDING CONTRACTOR SHALL PROVIDE TO THE CITY AND THE ARCHITECT A LICENSED ENGINEER'S SOIL ANALYSIS TO CONFIRM SOIL BEARING CAPACITY AND WATER LEVEL. INADEQUATE SOIL STRENGTH WILL REQUIRE A TIMBER PILING FOUNDATION SYSTEM.

**BEN MAIMON RESIDENCE**

**MARGATE CITY ZONING REQUIREMENTS**

BLOCK 13 LOT 6 ZONING DISTRICT R-30

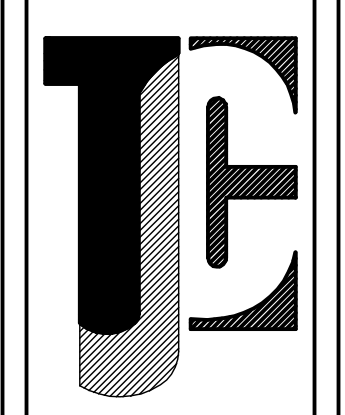
	REQUIRED	PROPOSED	VARIANCE REQ'D
LOT AREA	3000 SF	4030 SF	N
LOT WIDTH	40'-0"	70'-0"	N
SETBACKS		60'-0" WIDTH AT PORTIONS OF RIGHT SIDE OF SITE	
FRONT YARD			
BUILDING	15'-0"	15'-0"	N
DECK	7'-6"	7'-6"	N
REAR YARD	12'-6"	12'-6"	N
20%(62.5')=12.5'			
SIDE YARDS			
37%(70')=25.9'	22'-0"	20'-0"	YES
MAX = 22.0'			
LEFT SIDE YARD	10'-0"	10'-0"	N
RIGHT SIDE YARD	12'-0"	10'-0"	YES
RIGHT SIDE DECK	12'-0"	5'-0"	YES
BUILDING HEIGHT	30'-0"	29'-10"	N
HABITABLE STORIES	2.5	2.5	N
BUILDING COVERAGE	1404 SF	1400 SF	N
1404 SF MAX	34.85%	34.7%	
LOT COVERAGE MAX	65% MAX	65%	N
2620 SF		2618 SF	
LANDSCAPING MIN	35% MIN	35.6%	N
1410 SF		1424 SF	
FRONT LANDSCAPING	60% MIN	60%	N
FRONT=1048 SF	628 SF	628 SF	
PARKING	3	4	N

\*SEE 200' SETBACK CHART

16.4' NAVD 1988 FINISHED FIRST FLOOR

BUILDING COVERAGE CALCULATION:  
5000-4030 = 970 SF x .00005 = .00485 = 4.85% +30%=34.85%  
4030 SF x .3485 = 1404 SF

*Terri J. Gifford*  
Terri J. Gifford, AIA  
Date: 01-22-2021  
112 ARBOR COURT, WEST  
LIMWOOD, NJ 08221  
PH: (908) 827-7004  
FAX: (908) 827-7005

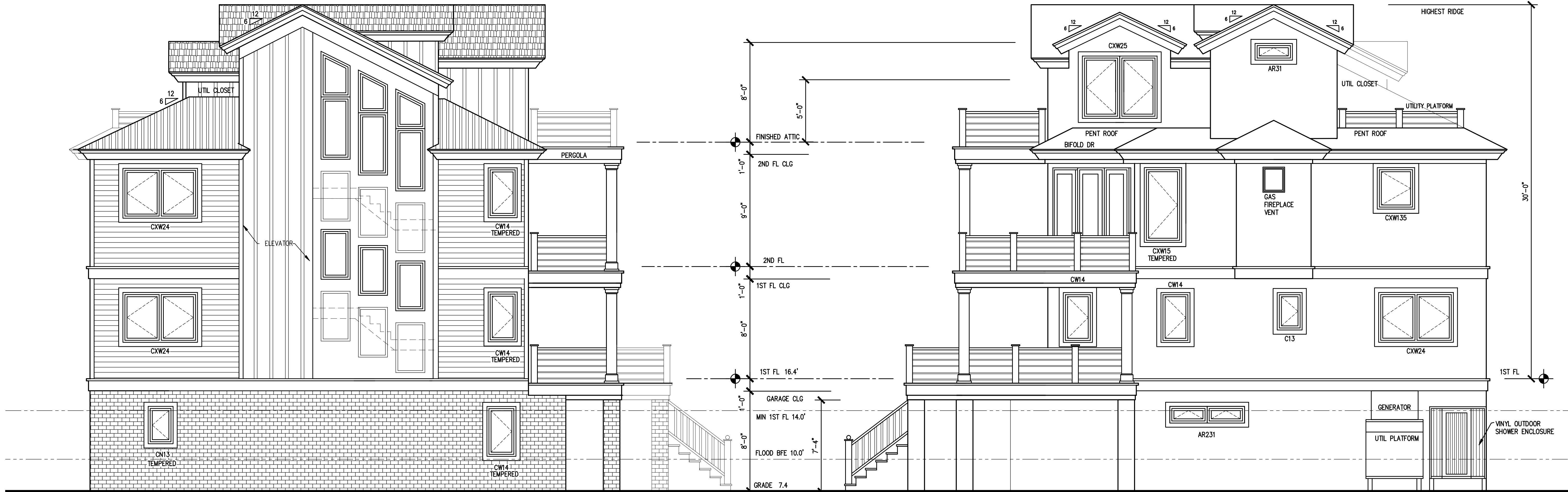


SHEET TITLE:  
SITE PLAN  
ZONING DATA  
FRONT ELEVATION  
REAR ELEVATION

PROJECT NO.  
1905

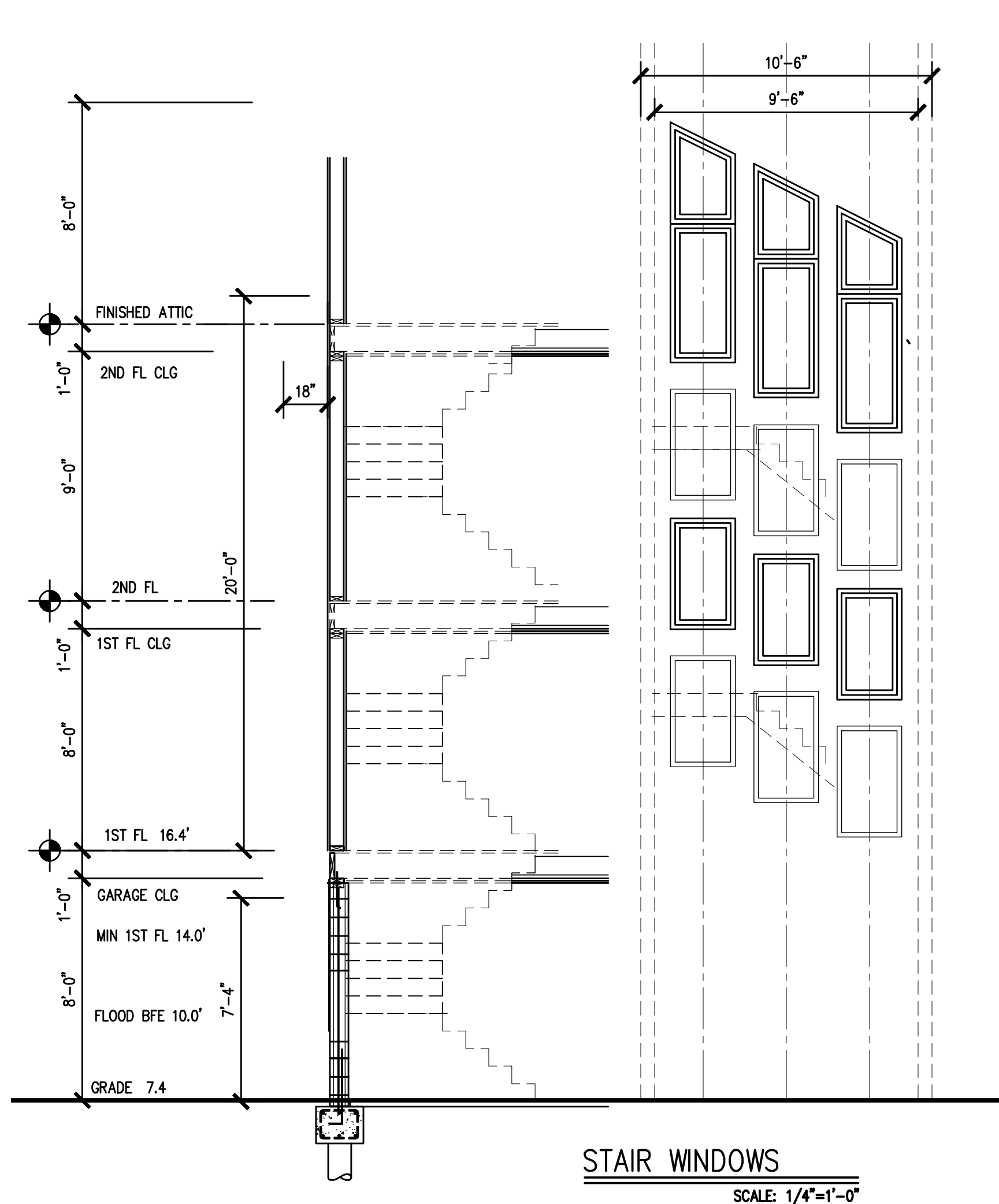
PROJECT NAME:  
**BEN-MAIMON RESIDENCE**  
111 S MANSFIELD AVE.  
MARGATE, NJ 08402

SHEET NO.  
**A-1**  
OF SHEETS



LEFT SIDE ELEVATION  
SCALE: 1/4"=1'-0"

RIGHT SIDE ELEVATION  
SCALE: 1/4"=1'-0"



STAIR WINDOWS  
SCALE: 1/4"=1'-0"



REAR ELEVATION  
SCALE: 1/4"=1'-0"

ZONING SET  
01-22-2021

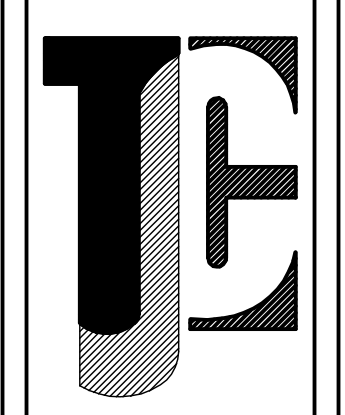
BUILDING DATA	
USE GROUP	R-5
CONSTRUCTION CLASS	5A
GRADE FLOOR AREA:	1316 SF
FINISHED SQUARE FOOTAGE:	
1ST FL:	1400 SF
2ND FL:	1376 SF
3RD FL:	686 SF
TOTAL FINISHED:	3462 SF
FOOTPRINT (HOUSE):	1400 SF
FOOTPRINT (DECKS):	512 SF
FOOTPRINT (HOUSE & DECKS):	1912 SF
HT FROM 1ST FL:	29'-10"

**SITE DATA**  
ALL ELEVATIONS IN 1988 DATUM  
BASE FLOOD ELEVATION = 10.0'  
MIN FINISHED 1ST FLOOR = 14.0'

SCHEME C-3  
VARIANCES REQ'D FOR DECKS

STRUCTURE IS 5A, 1 HOUR RATING

*Terri J. Gifford AIA*  
Terri J. Gifford, AIA, N.J. Lic. No. 10858  
Date: 01-22-2021  
102 ARBOR COURT, WEST  
LIMWOOD, NJ 08221  
PH: (908) 627-7004  
FAX: (908) 627-7005



SHEET TITLE:  
RIGHT SIDE ELEVATION  
LEFT SIDE ELEVATION  
REAR ELEVATION  
STAIRWELL WINDOW PATTERN

PROJECT NO.  
1905

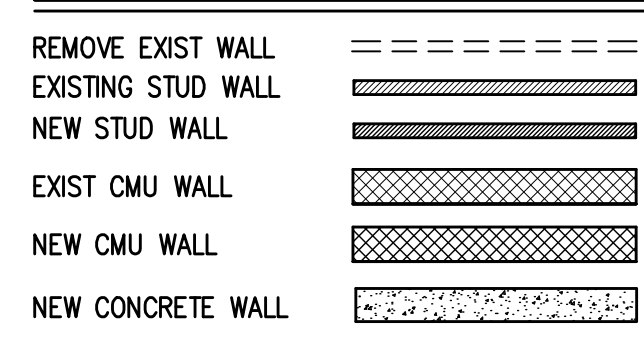
PROJECT NAME:  
**BEN-MAIMON RESIDENCE**  
111 S MANSFIELD AVE.  
MARGATE, NJ 08402

SHEET NO.  
**A-2**  
OF SHEETS

**PILE NOTES**

- TIMBER PILES SHALL HAVE THE CAPACITY TO SUPPORT A MIN OF 12 TONS OR AS NOTED ON DRWGS.
- TIMBER PILES SHALL BE SOUTHERN PINE AND CONFORM TO ASTM-D25 (LATEST REVISION).
- TIMBER PILES SHALL BE PRESSURE TREATED WITH CREOSOTE (12.0 LB. RETENTION), OR WOLMAN SALTS CCA (1.0 LB. RETENTION), AND CONFORM TO AMPI STANDARD C-3 (LATEST REVISION).
- PILE INSTALLATION SHALL BE SUPERVISED BY A SOILS ENGINEER OR HIS REPRESENTATIVE. A RECORD SHALL BE MAINTAINED DESCRIBING EACH DRIVEN PILE, ITS LOCATION, PILE DIMENSION, SIZE, WEIGHT, AND DROP OF HAMMER, AND BLOW COUNT, FOR REVIEW BY THE LOCAL CODE ENFORCEMENT.

**WALL KEY**

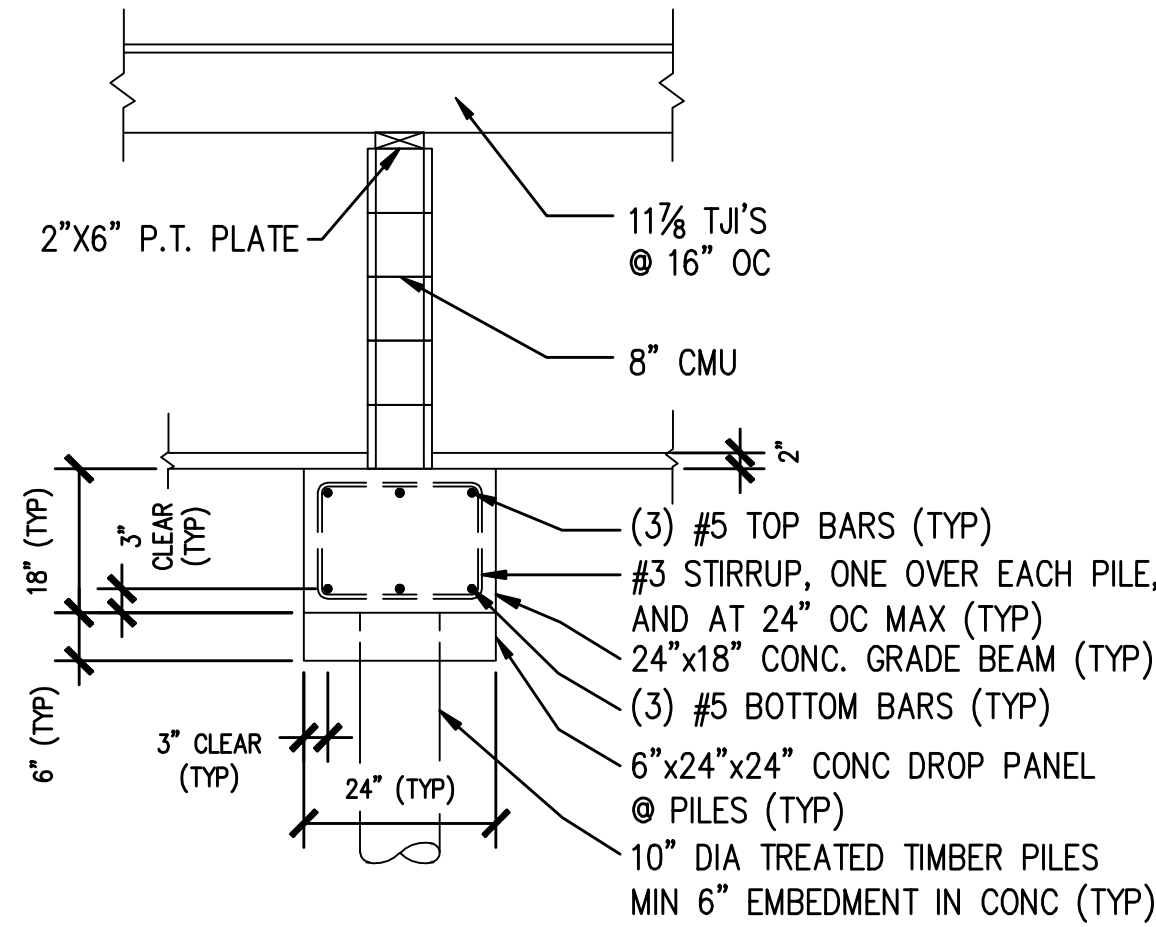


**FLOOD VENT CALCULATIONS**

FLOOD VENTS SHALL BE MANUFACTURED BY "SMARTVENT", MODEL # 1540-510, 8"x16" SIZE, STAINLESS STEEL CONSTRUCTION, WITH RIGID FRAME, PIVOTING DOOR ASSEMBLY, AND VERMIN RESISTANT SCREENING.  
 NET FREE VENT AREA=75 SQUARE INCHES  
 1 UNIT RELIEVES 200 SF OF FLOOD AREA  
 FLOOD VENT AREA REQUIRED: (1) SQUARE INCH PER (1) SQUARE FOOT OF GROUND FLOOR AREA BELOW BASE FLOOD ELEVATION.  
 AREA BELOW BASE FLOOD ELEVATION= 1252 SF  
 1318 SF / 200 SF = 6.59 VENTS REQUIRED

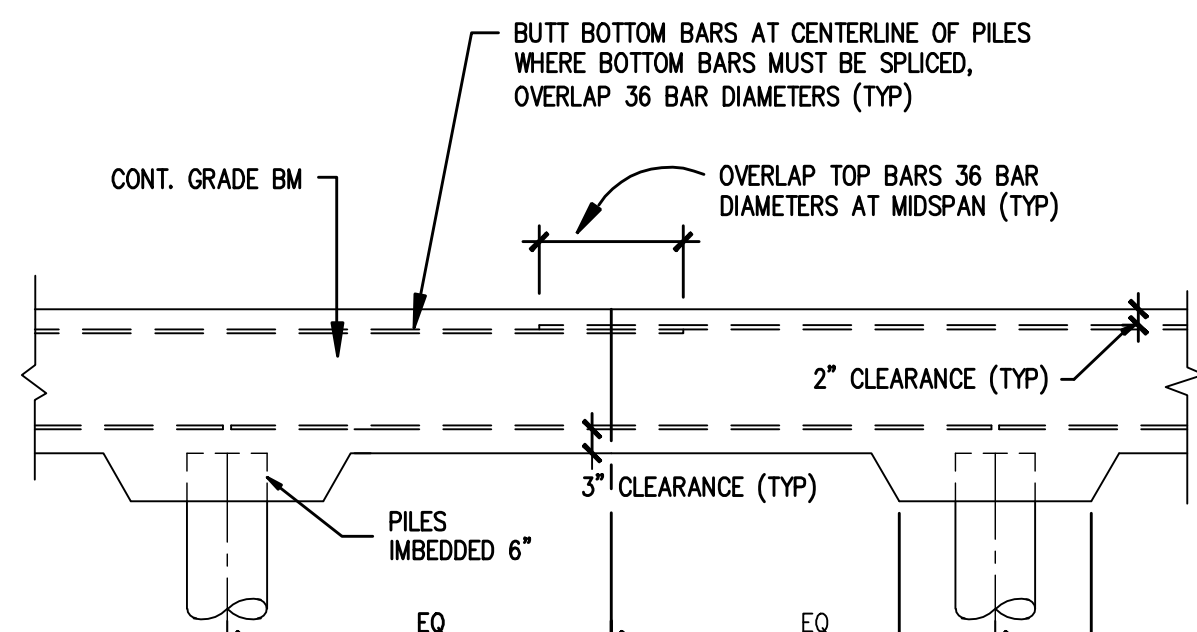
8 FLOOD VENTS PROVIDED

PLUS 2 VB IN ELEVATOR



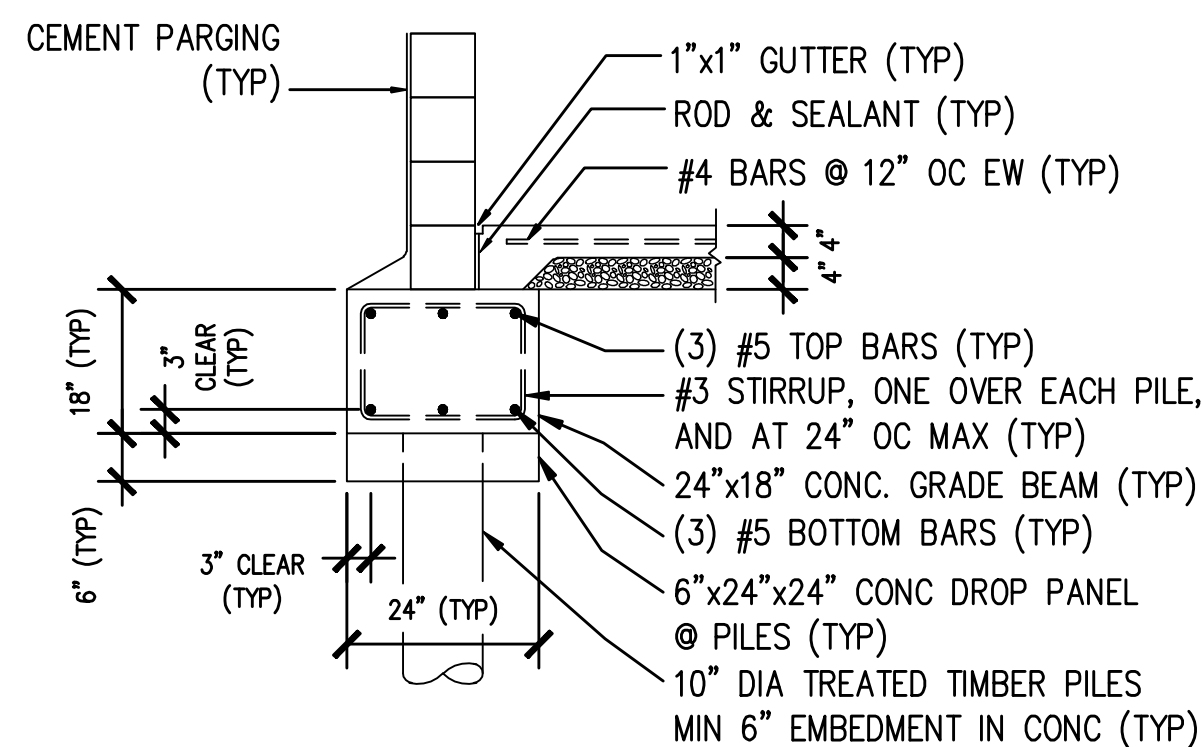
**INTERIOR FDN WALL DETAIL**

1/2" = 1'-0"



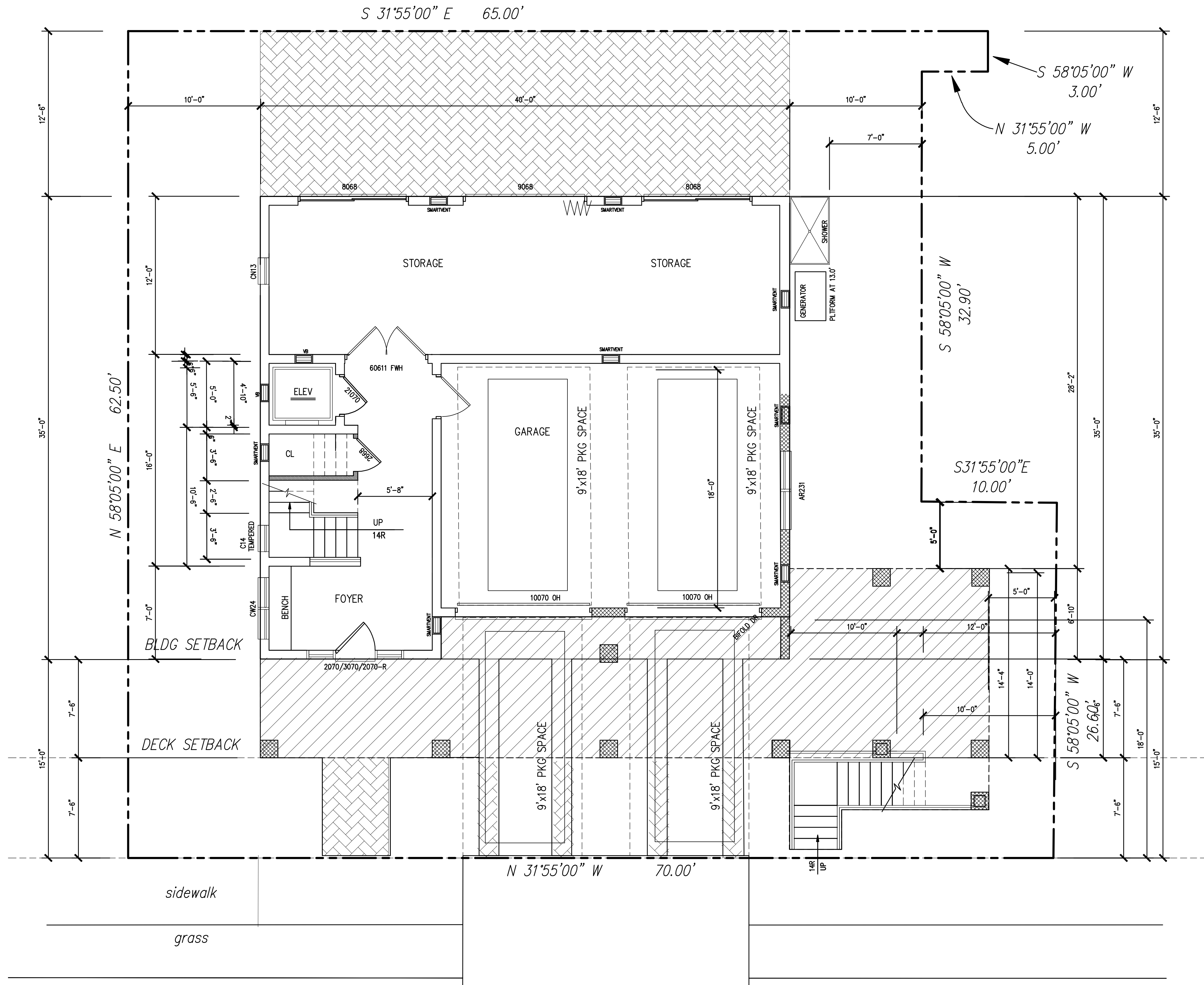
**REBAR DETAIL**

1/2" = 1'-0"



**PILING CONT FOOTING DETAIL**

1/2" = 1'-0"

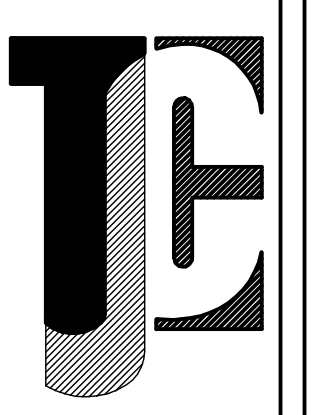


MANSFIELD AVE.

**FOUNDATION/PILING PLAN**

SCALE: 1/4"=1'-0"

*Terri J. Gifford, AIA*  
 Terri J. Gifford, AIA, NJ Lic. No. 10858  
 Date: 01-25-2021  
 112 ARBOR COURT, WEST  
 LINWOOD, NJ 08221  
 PH: (856) 827-7064  
 FAX: (856) 827-7065

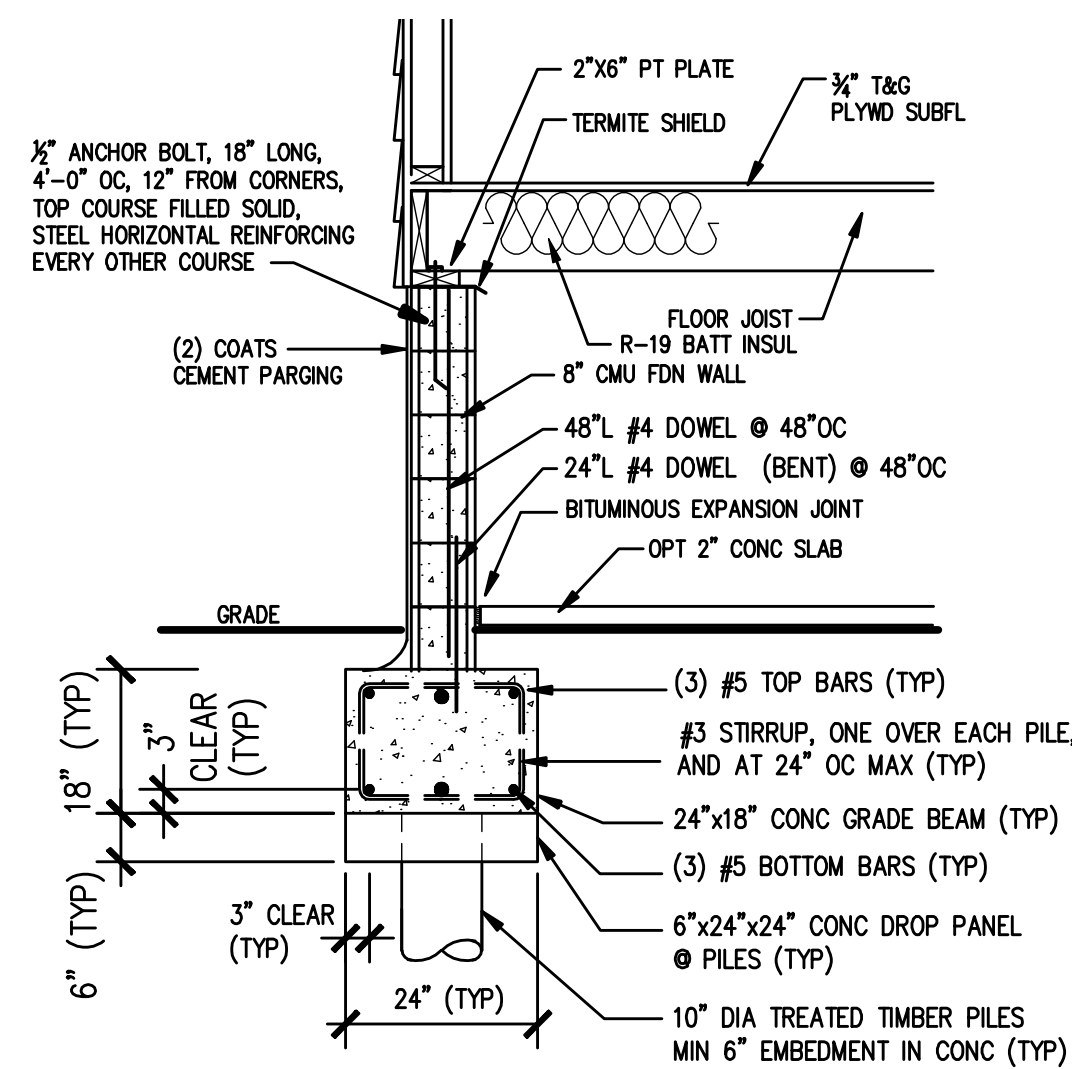


**FOUNDATION/PILING PLAN  
 FLOOD VENT CALCULATIONS  
 PILING DETAILS**

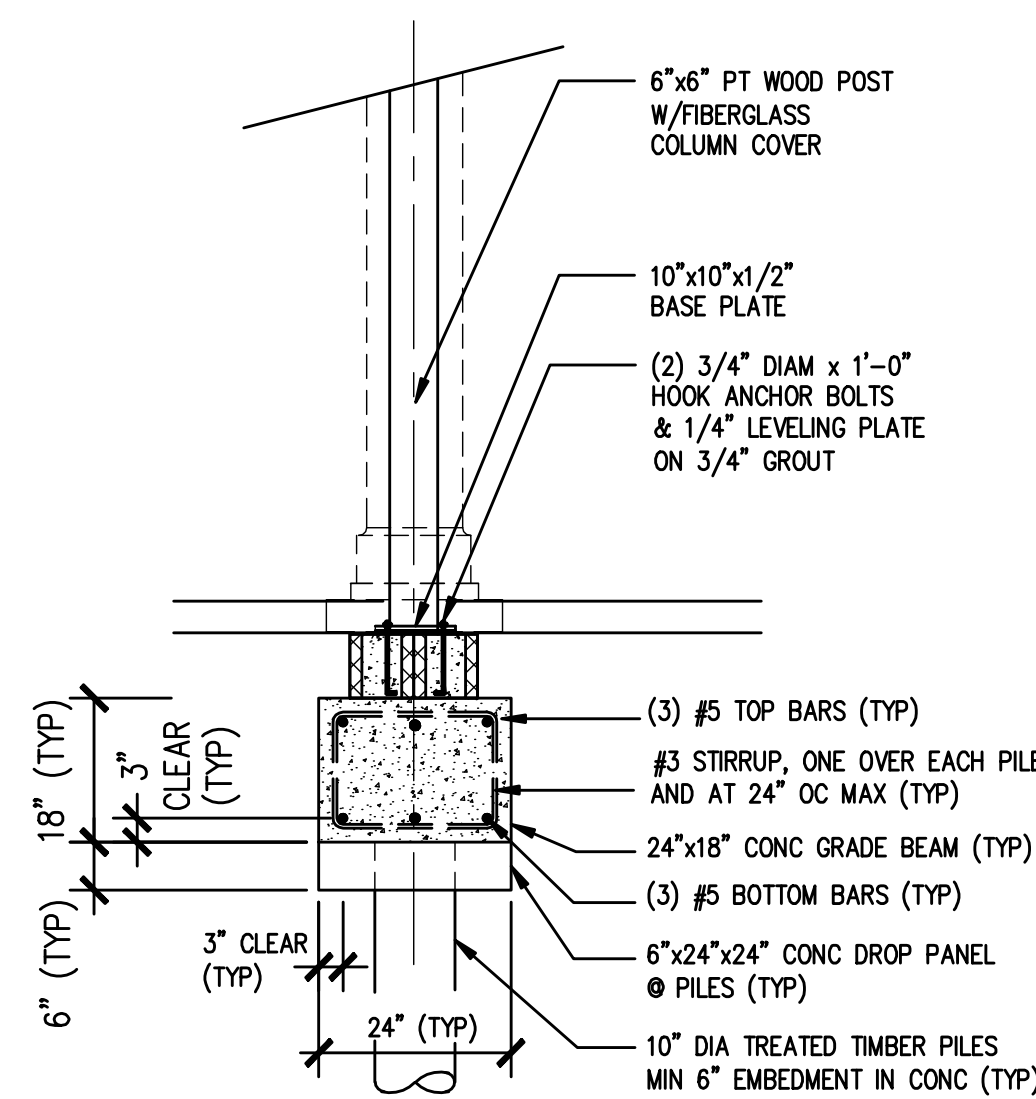
**PROJECT NO.  
 1905**

**PROJECT NAME:  
 BEN-MAIMON RESIDENCE  
 111 S MANSFIELD AVE.  
 MARGATE, NJ 08402**

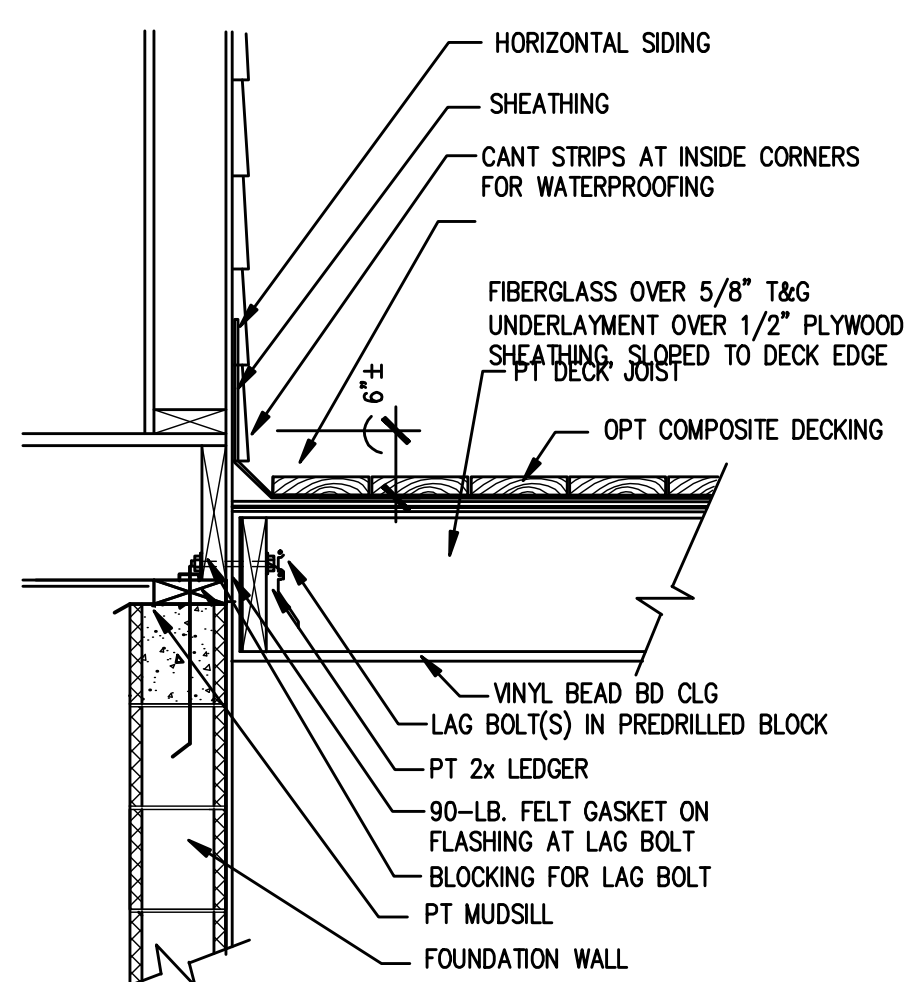
**SHEET NO.  
 A-3  
 OF SHEETS**



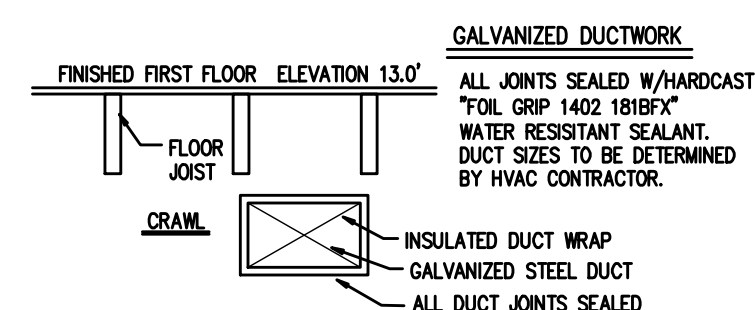
**EXTERIOR FDN WALL DETAIL**  
1/2" = 1'-0"



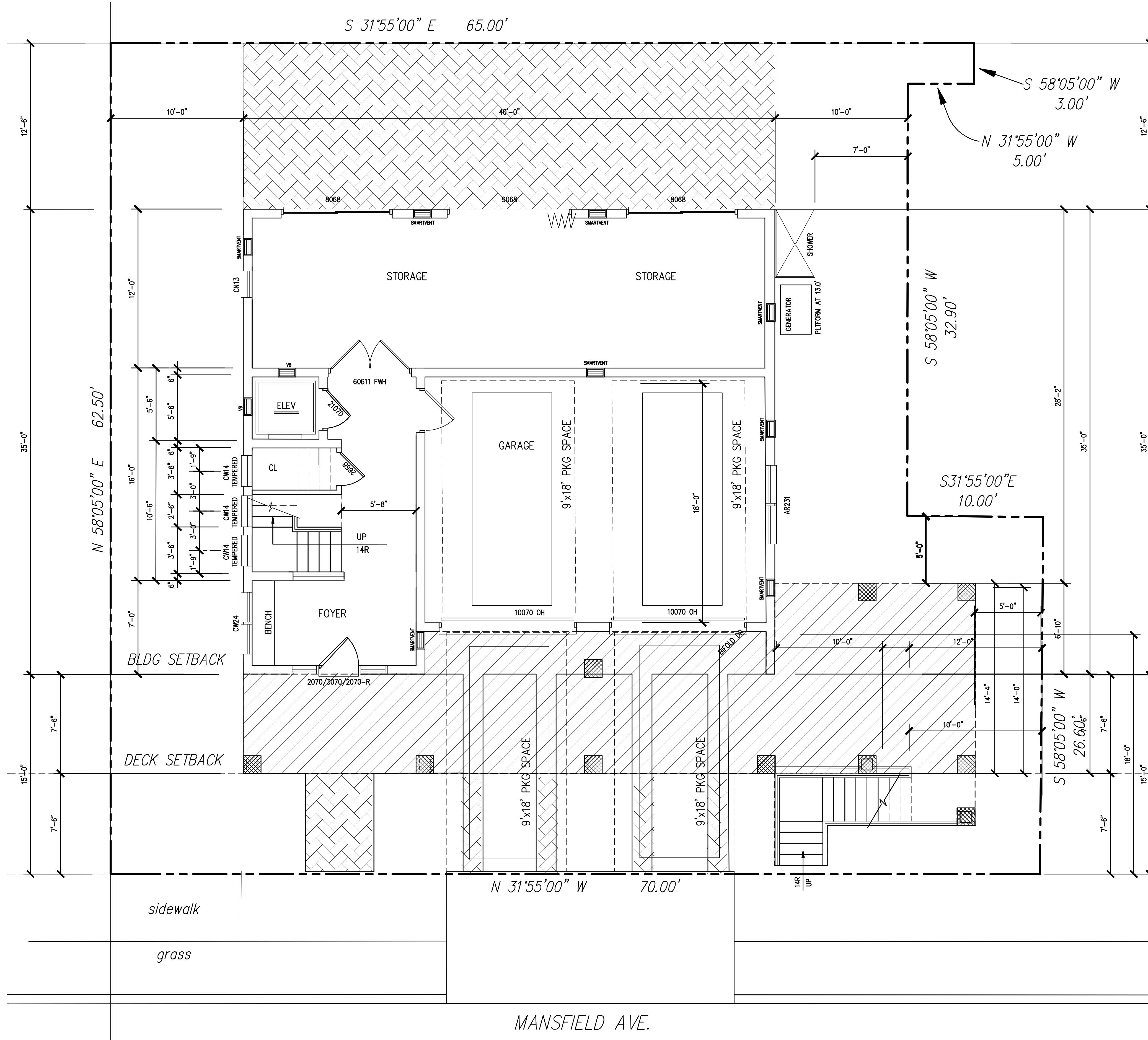
**PILING COLUMN DETAIL**  
1/2" = 1'-0"



**FIBERGLASS DECK ATTACHMENT DETAIL**  
3/4" = 1'-0"



**FLOOD PROOF DUCT DETAIL**  
1/2" = 1'-0"



**GRADE FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**FLOOD VENT CALCULATIONS**

FLOOD VENTS SHALL BE MANUFACTURED BY "SMARTVENT", MODEL # 1540-510, 8"x16" SIZE. STAINLESS STEEL CONSTRUCTION, WITH RIGID FRAME, PIVOTING DOOR ASSEMBLY, AND VERMIN RESISTANT SCREENING.  
 NET FREE VENT AREA=75 SQUARE INCHES  
 1 UNIT RELIEVES 200 SF OF FLOOD AREA  
 FLOOD VENT AREA REQUIRED: (1) SQUARE INCH PER (1) SQUARE FOOT OF GROUND FLOOR AREA BELOW BASE FLOOD ELEVATION.  
 AREA BELOW BASE FLOOD ELEVATION= 1252 SF  
 1318 SF / 200 SF = 6.59 VENTS REQUIRED

**8 FLOOD VENTS PROVIDED**  
**PLUS 2 VB IN ELEVATOR**

**WALL KEY**

- REMOVE EXIST WALL [dashed line]
- EXISTING STUD WALL [horizontal lines]
- NEW STUD WALL [solid line]
- EXIST CMU WALL [cross-hatch pattern]
- NEW CMU WALL [diagonal hatch pattern]
- NEW CONCRETE WALL [stippled pattern]

**ZONING SET**  
01-22-2021

**BUILDING DATA**

USE GROUP R-5  
 CONSTRUCTION CLASS 5A  
 GRADE FLOOR AREA: 1316 SF  
 FINISHED SQUARE FOOTAGE:  
 1ST FL: 1400 SF  
 2ND FL: 1376 SF  
 3RD FL: 686 SF  
 TOTAL FINISHED: 3462 SF  
 FOOTPRINT (HOUSE): 1400 SF  
 FOOTPRINT (DECKS): 512 SF  
 FOOTPRINT (HOUSE & DECKS): 1912 SF  
 HT FROM 1ST FL: 29'-10"

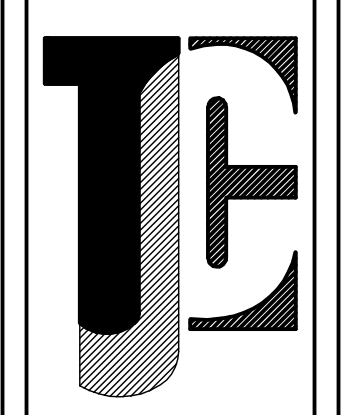
**SITE DATA**

ALL ELEVATIONS IN 1988 DATUM  
 BASE FLOOD ELEVATION = 10.0'  
 MIN FINISHED 1ST FLOOR = 14.0'

**SCHEME C-3**  
VARIANCES REQ'D FOR DECKS

STRUCTURE IS 5A, 1 HOUR RATING

*Terri J. Cunningham AIA*  
 Terri J. Cunningham, AIA, N.J. Lic. No. 10858  
 Date: 01-22-2021  
 102 ARBOR COURT, WEST LINWOOD, NJ 08221  
 PH: (908) 627-7004  
 FAX: (908) 627-7005



SHEET TITLE: **GRADE FLOOR PLAN/GARAGE**

PROJECT NO. **1905**

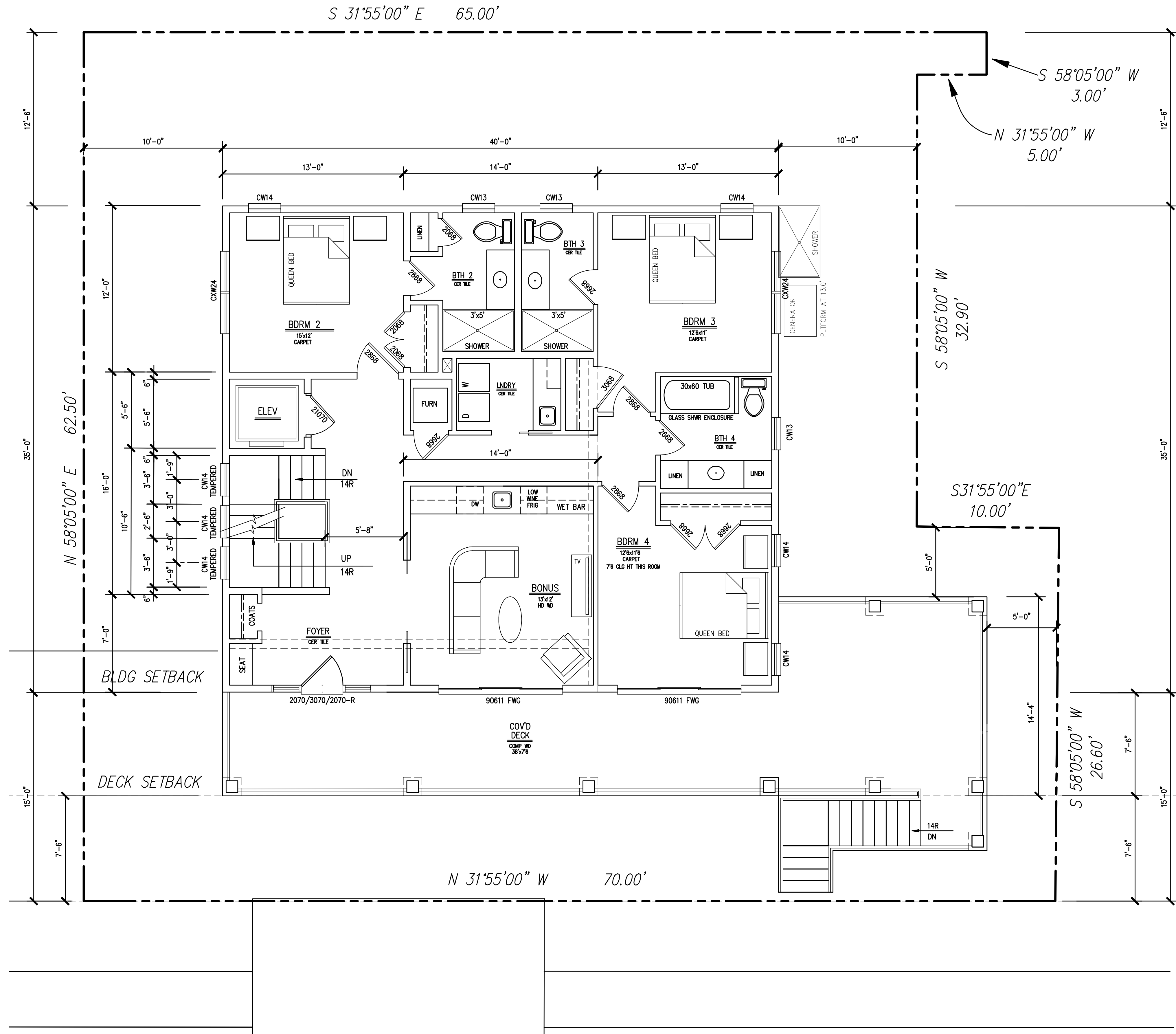
PROJECT NAME: **BEN-MAIMON RESIDENCE**  
 111 S MANSFIELD AVE.  
 MARGATE, NJ 08402

SHEET NO. **A-4**  
OF SHEETS

**GENERAL NOTES**

- CONTRACTOR SHALL CHECK ALL DIMENSIONS AND VERIFY ALL EXISTING CONDITIONS BEFORE PROCEEDING WITH THE WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT BEFORE THE COMMENCEMENT OF WORK.
- ALL CONSTRUCTION SHALL CONFORM TO THE INTERNATIONAL RESIDENTIAL CODE AND ALL APPLICABLE SUBCODES. CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY FOR DEMOLITION AND CONSTRUCTION PRIOR TO BEGINNING WORK.
- ARCHITECT IS NOT RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF EXISTING CONDITIONS. ALL LOCATIONS OF EXISTING CONDITIONS ARE APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STABILITY AND INTEGRITY OF EXISTING STRUCTURES AND THE PROTECTION OF ADJACENT PROPERTY.
- ARCHITECT ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK; SUCH RESPONSIBILITY LIES STRICTLY WITH THE CONTRACTOR.
- CHANGES TO THE PLANS BY THE OWNER AND/OR CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SAID CHANGES. CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH ANY SUCH CHANGES.
- DO NOT SCALE DRAWINGS; WRITTEN DIMENSIONS SHALL GOVERN.
- DESIGN LOADS PER SQUARE FOOT:
 

LOCATION	LIVE LOAD	DEAD LOAD	DEFLECTION
LIVING AREA	40	10	L/360
SLEEPING AREA	30	10	L/360
ATTIC	20	10	L/240
CATHEDRAL CEILING	20	15	L/240
ROOF	20	10	L/180
DECK	60	10	L/180
- SOIL BEARING CAPACITY IS ASSUMED AT 2000 PSF. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS TO SUPPORT THIS LOAD.
- FOOTINGS SHALL REST ON UNDISTURBED OR MECHANICALLY COMPACTED SOIL. BASEMENT SLABS SHALL REST ON 4" MIN. OF CLEAN SAND OR GRAVEL, WHICH SHALL BE SOLIDLY COMPACTED AND TAMPED TO 95% DENSITY. PROVIDE A MIN. 6 MIL. POLYETHYLENE VAPOR BARRIER UNDER ALL LIVING AREAS.
- ALL FOUNDATION WALLS SHALL BE DAMPPROOFED IN ACCORDANCE WITH THE IRC. DAMPPROOF BY PARING WITH 2 COATS OF 1/4" PORTLAND CEMENT MORTAR (TOTAL THICKNESS OF 1/2" MIN.) FROM TOP OF BLOCK TO TOP OF FOOTING. COVE PARING AT FOOTING. WALL DAMPPROOFING SHALL CONSIST OF 2 COATS OF BITUMINOUS MATERIAL.
- CONCRETE SHALL CONFORM TO ACI 301 WITH A MIN. 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- ALL CONCRETE WORK SHALL CONFORM TO ACI 301 STANDARD SPECIFICATIONS FOR REINFORCED CONCRETE. ALL REINFORCING SHALL BE DEFORMED BARS INTERMEDIATE GRADE ASTM A615 GRADE 60. BARS SHALL BE LAPPED A MI. OF 36 BAR DIAMETERS AT SPLICES.
- WELDED WIRE FABRIC (ASTM A185) SHEETS SHALL LAP 8" MIN.
- ALL CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90 (HOLLOW LOAD BEARINGS), C128 (HOLLOW NON-LOAD BEARING), OR C145 (SOLID LOAD BEARING). ALL MORTAR TO BE GRADE "M". TOP COURSE OF ALL FOUNDATION WALLS TO BE SOLID MASONRY. ALL FOUNDATION WALLS TO BE REINFORCED WITH MINIMUM 9 GA. HORIZONTAL TRUSS REINFORCING AT 16" O.C. VERTICAL SPACING. ANCHOR BOLTS TO BE 1/2" DIA., 18" LONG, 12" FROM CORNERS AND 4"-0" OC.
- ALL LUMBER TO BE HEM-FIR #2 OR BETTER. THE MINIMUM ALLOWABLE BENDING STRESS (FB) SHALL BE 1000 PSI (SINGLE MEMBER USE), 1150 PSI (REPETITIVE MEMBER USE). THE MINIMUM MODULES OF ELASTICITY (E) SHALL BE 1.4 PSI.
- DOUBLE FLOOR JOISTS UNDER ALL PARTITIONS, BATHTUBS, AND CABINERY RUNNING PARALLEL TO JOISTS.
- HEADERS SHALL BE (2) 2" X 12" IN BEARING WALLS AND (2) 2" X 10" IN NON-BEARING WALLS, OR AS NOTED ON DRAWINGS. PROVIDE A (3) 2" X 4 POST (MIN.) AT EACH BEAM/HEADER BEARING LOCATION AND A (2) 2" X 4 POST (MIN.) AT EACH WINDOW MULLION UNLESS OTHERWISE NOTED.
- NAILING OF ALL FRAMING MEMBERS SHALL BE IN ACCORDANCE WITH THE IRC TABLE R602.3(1) "FASTENER SCHEDULE".
- PROVIDE SOLID WOOD OR METAL STRAP "X" BRIDGING FOR ALL FLOOR JOISTS AT 8'-0" O.C. MAX.
- ALL EXTERIOR LUMBER EXPOSED TO WEATHER OR IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
- SUBFLOOR SHALL BE 3/4" TONGUE AND GROOVE CD PLYWOOD, GLUED AND NAILED IN ACCORDANCE WITH APA PUBLICATION 114.
- EXTERIOR WALL AND ROOF SHEATHING SHALL BE 1/2" CD PLYWOOD WITH EXTERIOR GLUE.
- PROVIDE HEAVY DUTY GALVANIZED HANGERS BY SIMPSON STRONG TIE OR ARCHITECT APPROVED EQUAL, AS REQUIRED, AT ALL JOIST TO BEAM AND BEAM TO BEAM CONNECTIONS.
- ALL ROOF RAFTERS SHALL BE ATTACHED TO TOP PLATE WITH APPROVED HURRICANE CLIPS.
- PRE-ENGINEERED WOOD JOISTS AND MICRO LAM BEAMS TO BE MANUFACTURED BY TRUST JOIST MACMILLAN OR ARCHITECT APPROVED EQUAL, AS PER SIZE AND SPACING INDICATED ON PLANS. INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- GYPSUM WALLBOARD SHALL BE A MINIMUM OF 1/2" THICKNESS. ALL WALLBOARD IN BATHROOMS AND WET AREAS SHALL BE WATER-RESISTANT. WALLS AND CEILINGS IN ATTACHED GARAGES AND MECHANICAL ROOMS SHALL BE 5/8" TYPE "X" FIRE-RATED.
- PROVIDE SAFETY GLAZING IN ALL HAZARDOUS LOCATIONS AS PER IRC SECTION R308. THESE LOCATIONS INCLUDE BUT ARE NOT LIMITED TO: GLAZING IN SLIDING AND SWINGING DOORS, TUB AND SHOWER ENCLOSURES, GLAZING ADJACENT TO OPERABLE DOORS, GLAZING IN HAND AND GUARD RAILS, AND GLAZING WITHIN 18" OF FLOOR AS REQUIRED.
- AS PER IRC, SECTION R310, EMERGENCY ESCAPE, ANY SLEEPING ROOM BELOW THE FOURTH FLOOR SHALL HAVE AT LEAST ONE EMERGENCY EGRESS WINDOW WITH A CLEAR SASH OPENING OF 5.7 SF, A MINIMUM CLEAR HEIGHT OF 24", A WIDTH OF 22", AND A MAXIMUM SILL HEIGHT OF 44".
- ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR AND ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES.
- ELECTRICAL SERVICE TO BE 200 AMP, 42 BREAKER U/L APPROVED PANEL UNLESS OTHERWISE SPECIFIED.
- ALL BATH AND GARAGE RECEPTACLES SHALL BE GFI. EXTERIOR RECEPTACLES TO BE WATERPROOF GFI.
- SMOKE/CARBON MONOXIDE DETECTORS TO BE LOCATED ON EACH LEVEL AND IN EACH SLEEPING ROOM. THEY SHALL BE HARD WIRED (110 VOLT) WITH BATTERY BACKUP AS PER IRC R317.1 AND NJAC 5:23-3.20.
- ALL MECHANICAL WORK SHALL BE PERFORMED BY A LICENSED MECHANICAL CONTRACTOR AND CONFORM TO ALL APPLICABLE CODES. MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR SIZING OF UNITS AND DESIGN OF HVAC SYSTEM. MECHANICAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR WHO SHALL PROVIDE POWER WIRING TO ALL MECHANICAL EQUIPMENT. MECHANICAL CONTRACTOR SHALL PROVIDE DRAWINGS IF REQUIRED.
- ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSE PLUMBING CONTRACTOR AND ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES.



MANSFIELD AVE.

FIRST FLOOR PLAN  
SCALE: 1/4"=1'-0"

**WALL KEY**

REMOVE EXIST WALL	-----
EXISTING STUD WALL	=====
NEW STUD WALL	=====
EXIST CMU WALL	=====
NEW CMU WALL	=====
NEW CONCRETE WALL	=====

ZONING SET  
01-22-2021

**BUILDING DATA**

USE GROUP	R-5
CONSTRUCTION CLASS	5A
GRADE FLOOR AREA:	1316 SF
FINISHED SQUARE FOOTAGE:	
1ST FL:	1400 SF
2ND FL:	1376 SF
3RD FL:	686 SF
TOTAL FINISHED:	3462 SF
FOOTPRINT (HOUSE):	1400 SF
FOOTPRINT (DECKS):	512 SF
FOOTPRINT (HOUSE & DECKS):	1912 SF
HT FROM 1ST FL:	29'-10"

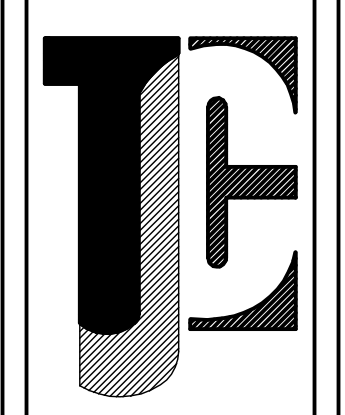
**SITE DATA**

ALL ELEVATIONS IN 1988 DATUM
BASE FLOOD ELEVATION = 10.0'
MIN FINISHED 1ST FLOOR = 14.0'

SCHEME C-3  
VARIANCES REQ'D FOR DECKS

STRUCTURE IS 5A, 1 HOUR RATING

Terri J. Cummings, AIA  
Date: 11-27-2020  
102 ARBOR COURT, WEST LINWOOD, NJ 08221



SHEET TITLE: 1ST FLOOR PLAN

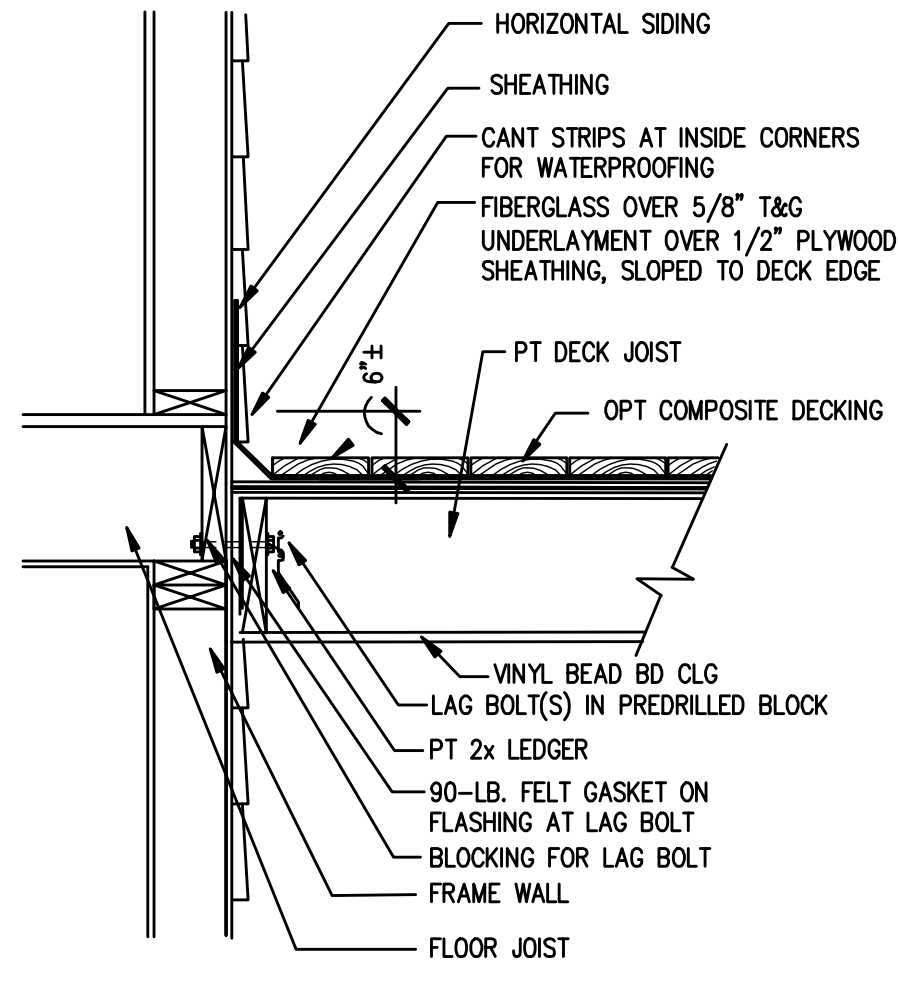
PROJECT NO. 1905

PROJECT NAME: BEN-MAIMON RESIDENCE  
111 S MANSFIELD AVE.  
MARGATE, NJ 08402

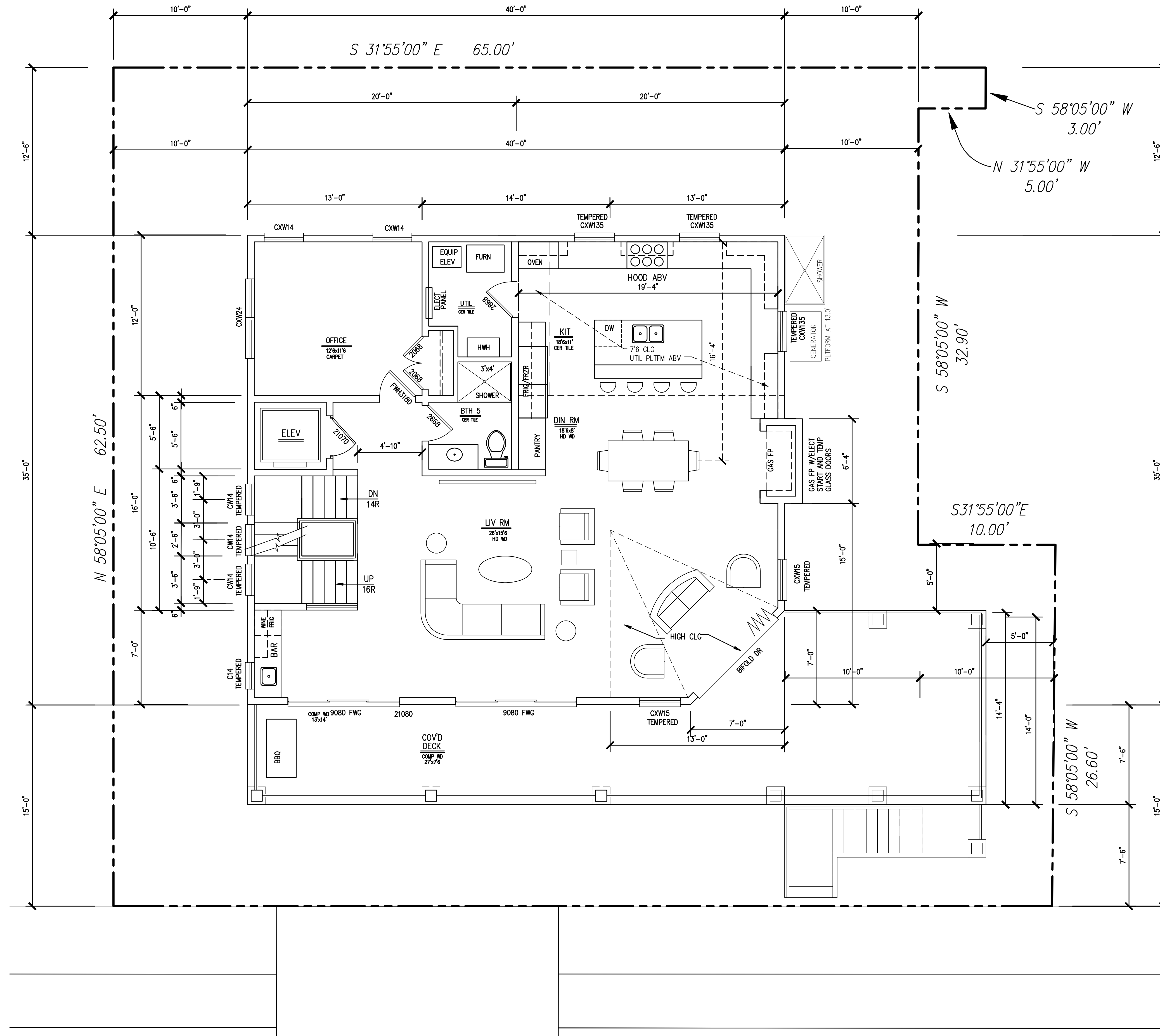
SHEET NO. A-5 OF SHEETS

**WALL KEY**

- REMOVE EXIST WALL
- EXISTING STUD WALL
- NEW STUD WALL
- EXIST CMU WALL
- NEW CMU WALL
- NEW CONCRETE WALL



**FIBERGLASS DECK ATTACHMENT DETAIL**  
3/4" = 1'-0"



**SECOND FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**STRUCTURAL NOTES**

- DESIGN LOADS PER SQUARE FOOT
- | LOCATION    | LIVE LOAD | DEAD LOAD | DEFLECTION |
|-------------|-----------|-----------|------------|
| LIVING AREA | 40        | 10        | L/360      |
| SLEEPING    | 30        | 10        | L/360      |
| ATTIC       | 20        | 10        | L/240      |
| CATH CLG    | 20        | 15        | L/240      |
| ROOF        | 20        | 10        | L/180      |
| DECK        | 60        | 10        | L/180      |
- FOUNDATION
- FOUNDATION TO BE TIMBER PILING WITH AN 18"x24" CONC GRADE BEAM WITH (6) #5 REBARS
- FRAMING
- ALL LUMBER TO BE HEM-FIR #2 OR BETTER. THE MINIMUM ALLOWABLE BENDING STRESS (FB) SHALL BE 1000 PSI (SINGLE MEMBER USE) AND 1150 PSI (REPETITIVE MEMBER USE). THE MINIMUM MODULUS OF ELASTICITY (E) SHALL BE 1.4 PSI. ALL PRE-ENGINEERED WOOD BEAMS AND JOISTS SHALL BE BY TRUS JOIST MANUFACTURER AND INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
  - ALL EXTERIOR LUMBER, INCLUDING STRINGERS, STAIR CARRIAGES, DECKS, SILL PLATES, AND WALL SYSTEMS BELOW BASE FLOOD ELEVATION 11.00' SLD SHALL BE PRESSURE TREATED WOOD.
  - CONTRACTOR SHALL SUPPLY DOUBLE JOISTS UNDER ALL PARTITION WALLS, BUILT-IN CABINETRY, ZERO CLEARANCE FIREPLACES, LAUNDRY AND TOILET ROOM FIXTURES WHEN PARALLEL TO JOIST SPAN.
  - CONTRACTOR SHALL PROVIDE WOOD OR METAL CROSS BRIDGING @ CENTERPOINT OF SPAN, MAXIMUM SPACING @ 8'-0" OC.
  - HEADERS SHALL BE (2) 2"x 12" IN ALL BEARING WALLS AND (2) 2"x 10" IN NON-BEARING WALLS, OR AS NOTED ON DRAWINGS.
  - ALL SUBFLOORS SHALL BE 3/4" TONGUE AND GROOVE CD PLYWOOD GLUED AND NAILED IN ACCORDANCE WITH APA PUBLICATION 114.
  - ALL WALL AND ROOF SHEATHING SHALL BE 1/2" T & G CD PLYWOOD WITH EXTERIOR GLUE.
  - NAILING OF ALL FRAMING MEMBERS SHALL BE IN ACCORDANCE WITH TABLE R602.3(1), "FASTENING SCHEDULE" OF THE IRC 2000.
  - ALL RAFTERS TO BE TIED TO TOP PLATE WITH HURRICANE CLIPS MANUFACTURED BY SIMPSON STRONG-TIE, MODEL # HA.
  - ALL JOIST HANGERS TO BE MANUFACTURED BY SIMPSON STRONG TIE, TOP NAILED DESIGN, OR AS NOTED.

ZONING SET  
01-22-2021

**BUILDING DATA**

USE GROUP	R-5
CONSTRUCTION CLASS	5A
GRADE FLOOR AREA:	1316 SF
FINISHED SQUARE FOOTAGE:	
1ST FL:	1400 SF
2ND FL:	1376 SF
3RD FL:	686 SF
TOTAL FINISHED:	3462 SF
FOOTPRINT (HOUSE):	1400 SF
FOOTPRINT (DECKS):	512 SF
FOOTPRINT (HOUSE & DECKS):	1912 SF
HT FROM 1ST FL:	29'-10"

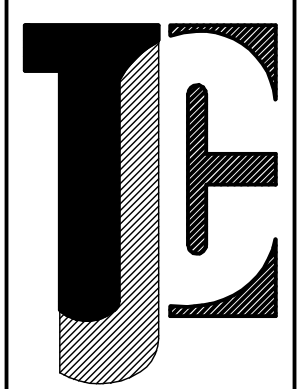
**SITE DATA**

ALL ELEVATIONS IN 1988 DATUM  
BASE FLOOD ELEVATION = 10.0'  
MIN FINISHED 1ST FLOOR = 14.0'

SCHEME C-3  
VARIANCES REQ'D FOR DECKS

STRUCTURE IS 5A, 1 HOUR RATING

*Terri J. Cunningham, AIA*  
Terri J. Cunningham, AIA, N.J. Lic. No. 10858  
Date: 11-27-2020  
122 ARBOR COURT, WEST LINDWOOD, NJ 08221  
PH: (908) 827-7004  
FAX: (908) 827-7005

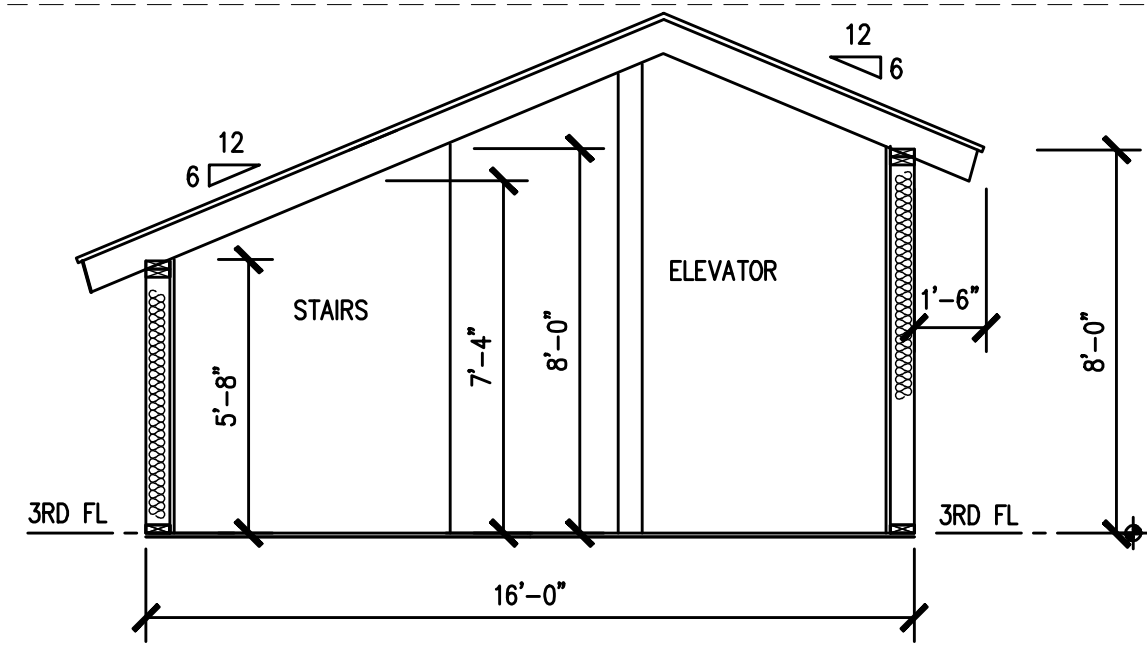


SHEET TITLE: 2ND FLOOR PLAN

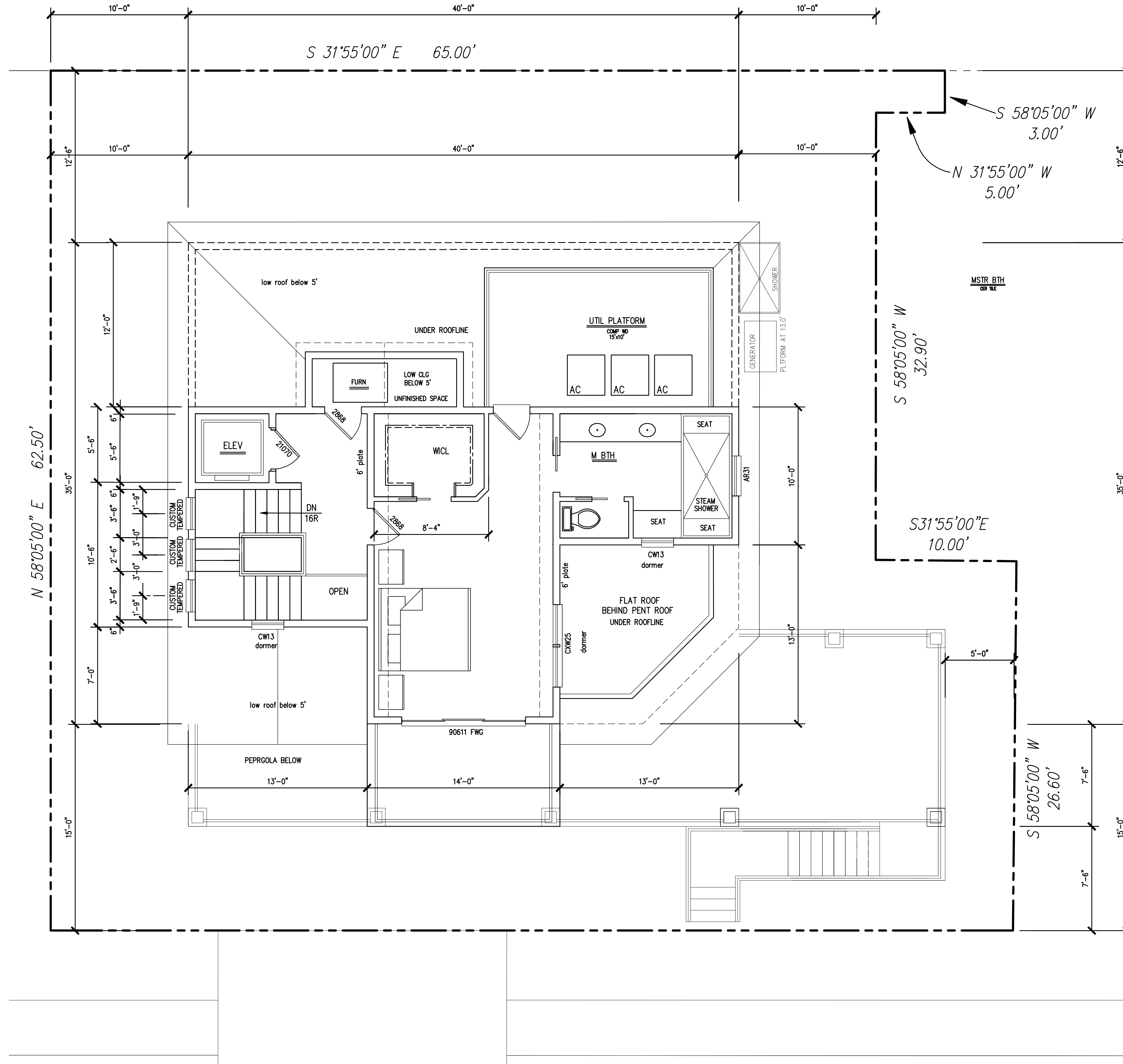
PROJECT NO.  
**1905**

PROJECT NAME:  
**BE-MAIMON RESIDENCE**  
111 S MANSFIELD AVE.  
MARGATE, NJ 08402

SHEET NO.  
**A-6**  
OF SHEETS



**SECTION B-B**  
SCALE: 1/4"=1'-0"



**FINISHED ATTIC**  
SCALE: 1/4"=1'-0"

**STRUCTURAL NOTES**

- DESIGN LOADS PER SQUARE FOOT
- | LOCATION    | LIVE LOAD | DEAD LOAD | DEFLECTION |
|-------------|-----------|-----------|------------|
| LIVING AREA | 40        | 10        | L/360      |
| SLEEPING    | 30        | 10        | L/360      |
| ATTIC       | 20        | 10        | L/240      |
| CATH CLG    | 20        | 15        | L/240      |
| ROOF        | 20        | 10        | L/180      |
| DECK        | 60        | 10        | L/180      |
- FOUNDATION**
- FOUNDATION TO BE TIMBER PILINGS WITH AN 18"x24" CONC GRADE BEAM WITH (6) #5 REBARS
- FRAMING**
- ALL LUMBER TO BE HEM-FIR #2 OR BETTER. THE MINIMUM ALLOWABLE BENDING STRESS (FB) SHALL BE 1000 PSI (SINGLE MEMBER USE) AND 1150 PSI (REPETITIVE MEMBER USE). THE MINIMUM MODULUS OF ELASTICITY (E) SHALL BE 1.4 PSI. ALL PRE-ENGINEERED WOOD BEAMS AND JOISTS SHALL BE BY TRUS JOIST MACMILLON AND INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
  - ALL EXTERIOR LUMBER, INCLUDING STRINGERS, STAIR CARRIAGES, DECKS, SILL PLATES, AND WALL SYSTEMS BELOW BASE FLOOD ELEVATION 11.00' SLD SHALL BE PRESSURE TREATED WOOD.
  - CONTRACTOR SHALL SUPPLY DOUBLE JOISTS UNDER ALL PARTITION WALLS, BUILT-IN CABINETRY, ZERO CLEARANCE FIREPLACES, LAUNDRY AND TOILET ROOM FIXTURES WHEN PARALLEL TO JOIST SPAN.
  - CONTRACTOR SHALL PROVIDE WOOD OR METAL CROSS BRIDGING @ CENTERPOINT OF SPAN, MAXIMUM SPACING @ 8'-0" OC.
  - HEADERS SHALL BE (2) 2"x 12" IN ALL BEARING WALLS AND (2) 2"x 10" IN NON-BEARING WALLS, OR AS NOTED ON DRAWINGS.
  - ALL SUBFLOORS SHALL BE 3/4" TONGUE AND GROOVE CD PLYWOOD GLUED AND NAILED IN ACCORDANCE WITH APA PUBLICATION 114.
  - ALL WALL AND ROOF SHEATHING SHALL BE 1/2" T & G CD PLYWOOD WITH EXTERIOR GLUE.
  - NAILING OF ALL FRAMING MEMBERS SHALL BE IN ACCORDANCE WITH TABLE R602.3(1), "FASTENING SCHEDULE" OF THE IRC 2000.
  - ALL RAFTERS TO BE TIED TO TOP PLATE WITH HURRICANE CLIPS MANUFACTURED BY SIMPSON STRONG-TIE, MODEL # H4.
  - ALL JOIST HANGERS TO BE MANUFACTURED BY SIMPSON STRONG TIE, TOP NAILED DESIGN, OR AS NOTED.

ZONING SET  
01-22-2021

**BUILDING DATA**

USE GROUP	R-5
CONSTRUCTION CLASS	5A
GRADE FLOOR AREA:	1316 SF
FINISHED SQUARE FOOTAGE:	
1ST FL:	1400 SF
2ND FL:	1376 SF
3RD FL:	686 SF
TOTAL FINISHED:	3462 SF
FOOTPRINT (HOUSE):	1400 SF
FOOTPRINT (DECKS):	512 SF
FOOTPRINT (HOUSE & DECKS):	1912 SF
HT FROM 1ST FL:	29'-10"

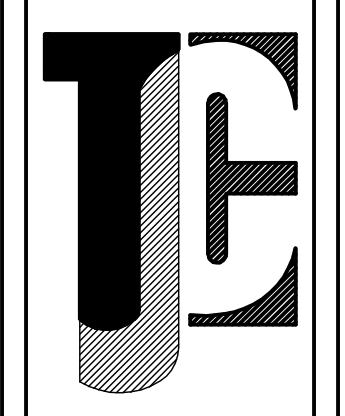
**SITE DATA**

ALL ELEVATIONS IN 1988 DATUM  
BASE FLOOD ELEVATION = 10.0'  
MIN FINISHED 1ST FLOOR = 14.0'

SCHEME C-3  
VARIANCES REQ'D FOR DECKS

STRUCTURE IS 5A, 1 HOUR RATING

*Terri J. Cuffinings, AIA*  
Terri J. Cuffinings, AIA NJ Lic. No. 10858  
Date: 11-27-2020  
102 ARBOR COURT, WEST  
LINWOOD, NJ 08221  
PH: (856) 827-7064  
FAX: (856) 827-7065



SHEET TITLE:  
FINISHED ATTIC PLAN  
SECTION B-B

PROJECT NO.  
1905

PROJECT NAME:  
**BEN-MAIMON RESIDENCE**  
111 S MANSFIELD AVE.  
MARGATE, NJ 08402

SHEET NO.  
**A-7**  
OF SHEETS