

#119 SOUTH OSBORNE AVENUE

VARIANCE APPLICATION PLAN SET

FOR PROPOSED SINGLE FAMILY RESIDENCE

BLOCK 15 LOTS 8 & 9
MARGATE CITY ATLANTIC COUNTY NEW JERSEY

PROJECT TEAM

ATTORNEY
JACK PLACKTER, ESQ.
FOX ROTHSCHILD LLP
1301 ATLANTIC AVENUE
MIDTOWN BUILDING, SUITE 400
ATLANTIC CITY, NJ 08401

ARCHITECT
SOSH ARCHITECTS
1020 ATLANTIC AVENUE
ATLANTIC CITY, NEW JERSEY 08401

LANDSCAPE ARCHITECT
J. ADAMSON ASSOCIATES, L.L.C.
5009 ENGLISH CREEK AVENUE
EGG HARBOR TOWNSHIP, NEW JERSEY 08234

STRUCTURAL ENGINEER
CZAR ENGINEERING
LAMONT H. CZAR
5014 FERNWOOD AVENUE
EGG HARBOR TOWNSHIP, NEW JERSEY 08234

SURVEYOR / PLANNER / CIVIL ENGINEER
ARTHUR W. PONZIO CO. & ASSOC., INC.
400 N DOVER AVENUE
ATLANTIC CITY, NEW JERSEY 08401

VARIANCES & DESIGN WAIVERS REQUESTED			
ITEM	REQUIREMENT		PROPOSED
1 OUTDOOR FIREPLACE			
a. GREATER THAN 2' IN HEIGHT	2'-0"	\$175-33.D.(11)(b)	2'-6"
b. LOCATED ON ELEVATED SURFACE	NOT PERMITTED	\$175-33.D.(11)(d)	LOCATED ON STONE PATIO
c. WITHIN 15' OF ANOTHER STRUCTURE	>15' TO ANOTHER STRUCTURE	\$175-33.D.(11)(e)	<15' TO THE PROPOSED TRELLIS
2 TRELLIS			
a. HEIGHT	8'-0"	\$175-26.E.(10)	9'-0"
b. WIDTH	8'-0"	\$175-26.E.(10)	10'-0"
3 POOL PATIO			
a. ELEVATION IN SIDE YARD -	1'-8" ABOVE BFE = 12.67'	\$175-33.D.(3)(e)[1]	13.33'
b. ELEVATION IN REAR YARD SETBACK	18" ABOVE EX. GRD = 10.0'	\$175-33.D.(3)(e)[2]	10.24'
4 DECK OVER BULKHEAD			
a. ELEVATION IN REAR YARD SETBACK - 13.33'	18" ABOVE EX. GRD = 10.0'	\$175-33.D.(3)(e)[2]	13.33'
5 RETAINING WALL IN FRONT YARD			
a. RETAINING WALL IN FRONT YARD	NOT PERMITTED	\$175-26.E.(5)	WALL W/MAX. HT. OF 4'-0" (REPLACES EX'G WALL)
7 GRASS STRIP BETWEEN SIDEWALK LINE AND CURBLINE	Required	\$175-26.D.(6)	None proposed

CIVIL SHEET SET

- C-01 TITLE SHEET
- C-02 EXISTING CONDITIONS SURVEY
- C-03 SITE PLAN & DETAILS

1. APPLICANT:
MARK & SUSAN RUBIN
144 KNIGHTSBRIDGE ROAD
WYNNWOOD, PA 19096

2. PROPERTY INFORMATION:
#117-119 S. OSBORNE AVENUE
MARGATE, NEW JERSEY 08402
BLOCK 15, LOT 8 & 9

3. TOTAL AREA = 131,488 SF. INCLUDING RIPARIAN ZONING = S-40 DISTRICT
EXISTING USE = SINGLE FAMILY DWELLING
EFFECTIVE FEMA FLOOD ZONE AE10, AE11, VE13

4. PROPERTY SURVEY:
ALL INFORMATION SHOWN ON THIS PLAN ACQUIRED FROM A PHYSICAL FIELD SURVEY BY ARTHUR W. PONZIO CO. & ASSOC., INC. ALL ELEVATIONS INDICATED REFLECT NAVD88.

5. INTENT OF APPLICANT:
THE APPLICANT SEEKS APPROVAL TO CONSTRUCT A NEW SINGLE FAMILY DWELLING, BULKHEAD AND ANCILLARY IMPROVEMENTS AS SHOWN ON THE PLAN.

NOTE: THIS DRAWING IS INTENDED FOR APPROVAL PURPOSES AND NOT TO BE USED AS A CONSTRUCTION DOCUMENT.

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ALL WORK SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND SAFETY REQUIREMENTS AND SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST PROVISIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), THE HIGH VOLTAGE PROXIMITY ACT, STATE OF NEW JERSEY, ADOPTED 7/24/18 AS P.L. 1948, § 249, THE NEW JERSEY UNIFORM CONSTRUCTION CODE, ICC, ASTM SPECIFICATIONS, ALL LOCAL ORDINANCES AND PERMIT CONDITIONS.

AWP, PONZIO CO & ASSOCIATES, INC. RESPONSIBILITIES DO NOT INCLUDE ANY FIELD INSPECTION, CONSTRUCTION MANAGEMENT, CONSTRUCTION OR CONTRACTORS COMPLIANCE WITH CONSTRUCTION DOCUMENTS.

NO.	DATE	BY	DESCRIPTION
03	01-04-2021	WJP	GENERAL
02	12-22-2020	WJP	GENERAL
01	10-22-2020	TAD	REVISE L/S COVER
NO.	DATE	BY	DESCRIPTION
REVISIONS			

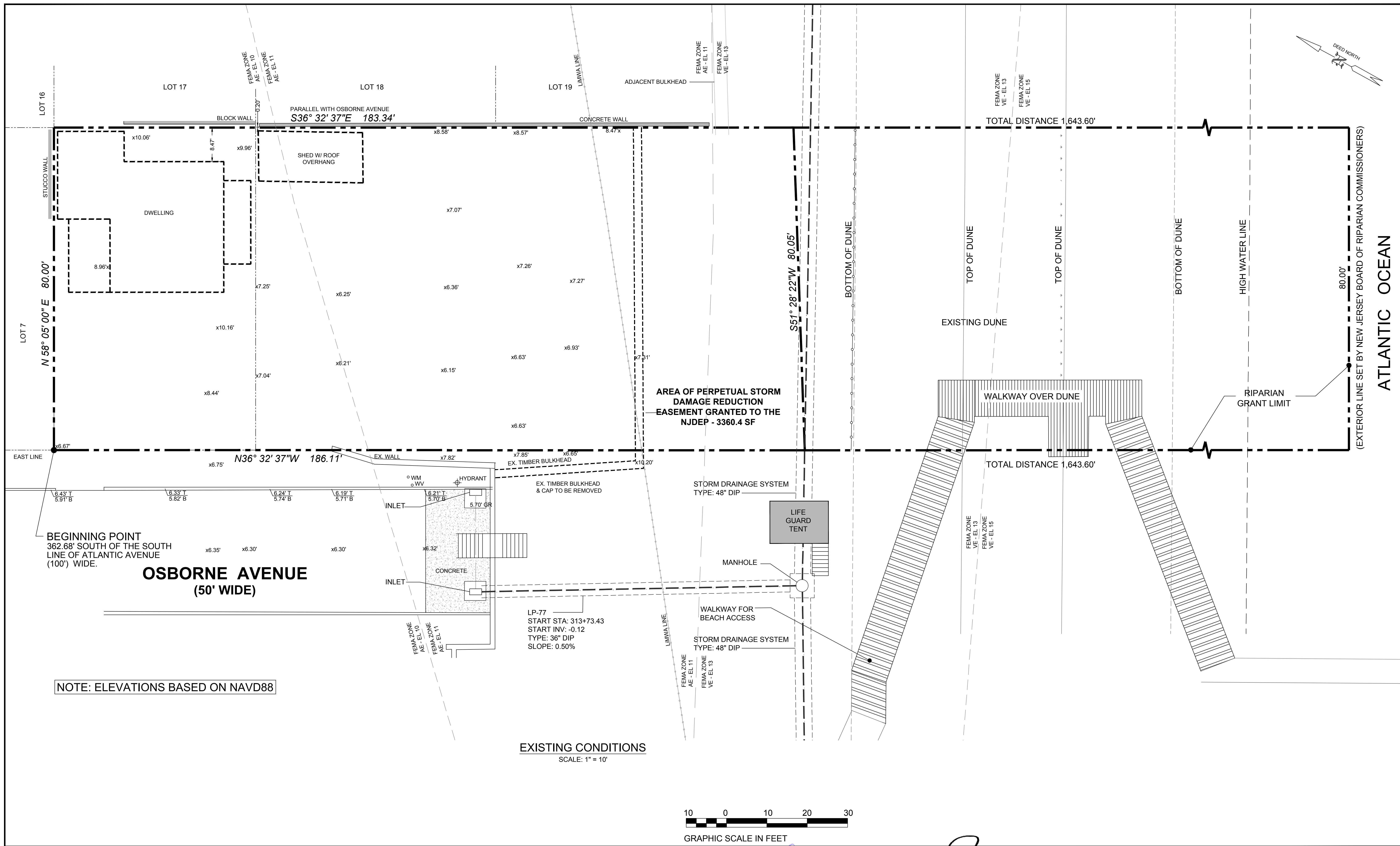
AWP
ARTHUR W. PONZIO CO. & ASSOCIATES, INC.
SURVEYORS, PLANNERS, ENGINEERS
400 NORTH DOVER AVENUE, ATLANTIC CITY, N. J. 08401
PHONE: 609-344-8194 FAX: 609-344-1594
NEW JERSEY STATE AUTH. NO.: 24GA28001300

Thomas A. Dase
THOMAS A. DASE
PROFESSIONAL PLANNER N.J. NO. 33LI00625100
PROFESSIONAL ENGINEER N.J. NO. GE48387

Arthur W. Ponzio, Jr.
ARTHUR W. PONZIO, JR.
PROFESSIONAL PLANNER N.J. NO. 33LI00267600
PROFESSIONAL LAND SURVEYOR N.J. NO. 24GS02831400

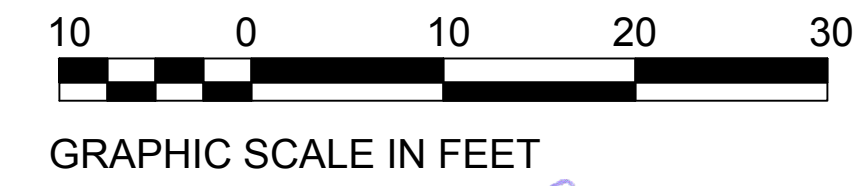
TITLE SHEET
BLOCK 15 LOT 8 & 9
MARGATE ATLANTIC COUNTY NEW JERSEY
SCALE: AS NOTED
DATE: 9/29/2020
BY: T DASE
PROJ. NO.: 34050

SHEET NO.
C-01
SHEET 1 of 3



NOTE: ELEVATIONS BASED ON NAVD88

EXISTING CONDITIONS
SCALE: 1" = 10'



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03	01-04-2021	WJP	GENERAL
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01	10/22/2020	TAD	REVISE L/S COVER

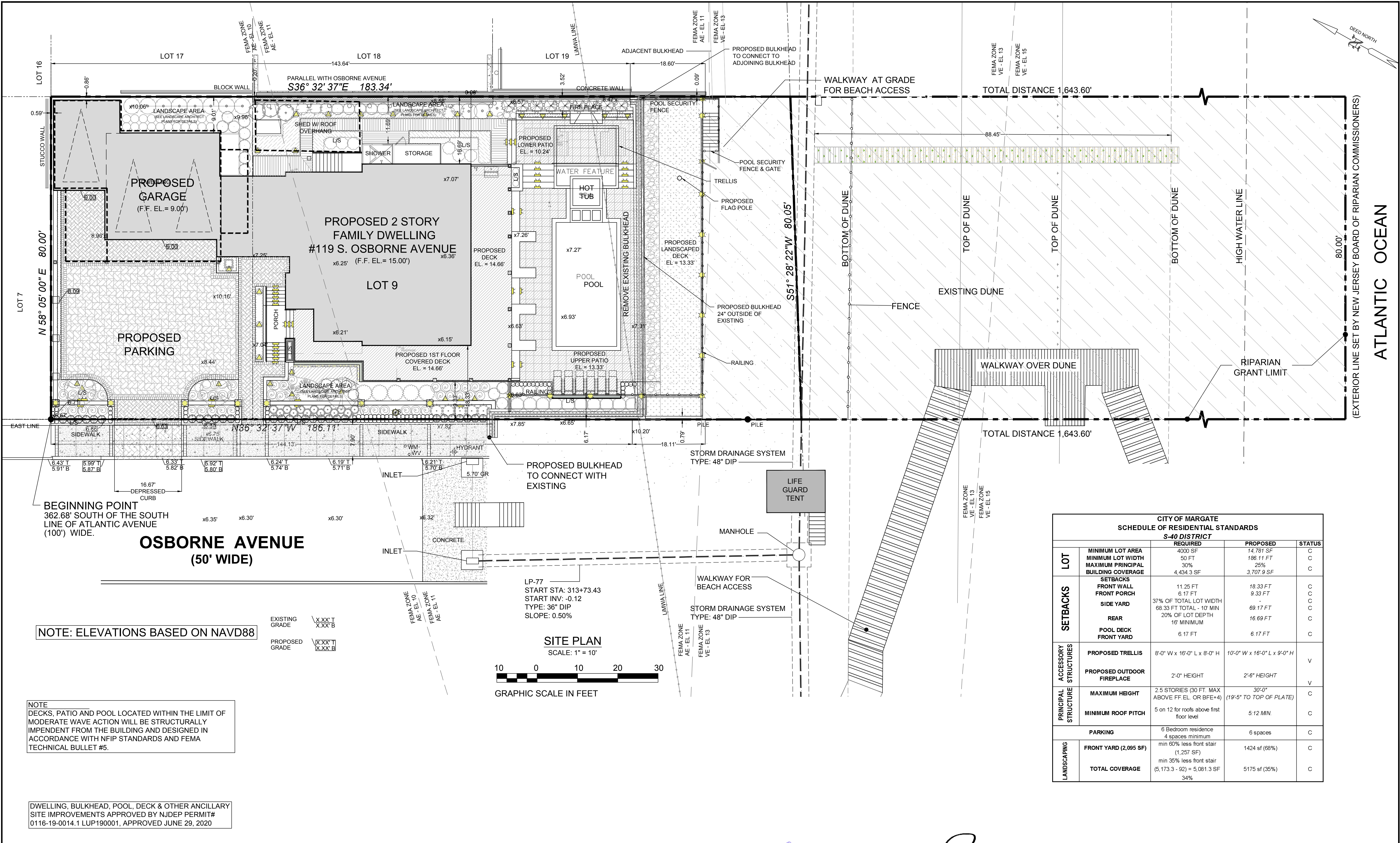
AWP
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 PROFESSIONAL LAND SURVEYOR N.J. NO. 24GS02831400

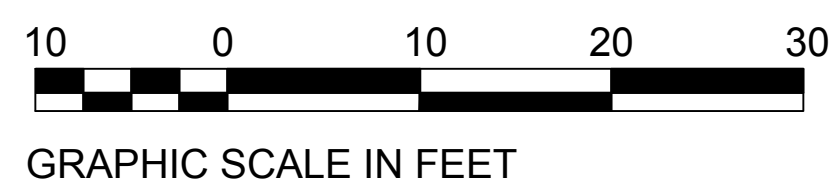
EXISTING CONDITIONS PLAN
 BLOCK 15 LOT 8 & 9
 MARGATE ATLANTIC COUNTY NEW JERSEY
 SCALE: 1" = 10'
 DATE: 9/29/2020
 BY: T DASE
 PROJ. NO.: 34050

SHEET NO.
C-02
 SHEET 2 of 3



NOTE: ELEVATIONS BASED ON NAVD88

SITE PLAN
SCALE: 1" = 10'



NOTE
DECKS, PATIO AND POOL LOCATED WITHIN THE LIMIT OF MODERATE WAVE ACTION WILL BE STRUCTURALLY IMPENDENT FROM THE BUILDING AND DESIGNED IN ACCORDANCE WITH NFIP STANDARDS AND FEMA TECHNICAL BULLET #5.

DWELLING, BULKHEAD, POOL, DECK & OTHER ANCILLARY SITE IMPROVEMENTS APPROVED BY NJDEP PERMIT# 0116-19-0014.1 LUP190001, APPROVED JUNE 29, 2020

CITY OF MARGATE SCHEDULE OF RESIDENTIAL STANDARDS S-40 DISTRICT				
LOT	MINIMUM LOT AREA MINIMUM LOT WIDTH MAXIMUM PRINCIPAL BUILDING COVERAGE	REQUIRED	PROPOSED	STATUS
			4000 SF 50 FT 30% 4,434.3 SF	
SETBACKS	FRONT WALL	11.25 FT	18.33 FT	C
	FRONT PORCH	6.17 FT	9.33 FT	C
	SIDE YARD	37% OF TOTAL LOT WIDTH 68.33 FT TOTAL - 10' MIN	69.17 FT	C
	REAR	20% OF LOT DEPTH 16' MINIMUM	16.69 FT	C
ACCESSORY STRUCTURES	PROPOSED TRELLIS	8'-0" W x 16'-0" L x 8'-0" H	10'-0" W x 16'-0" L x 9'-0" H	V
	PROPOSED OUTDOOR FIREPLACE	2'-0" HEIGHT	2'-6" HEIGHT	V
	MAXIMUM HEIGHT	2.5 STORIES (30 FT. MAX ABOVE FF.E.L. OR BFE+4)	30'-0" (19'-5" TO TOP OF PLATE)	C
PRINCIPAL STRUCTURE	MINIMUM ROOF PITCH	5 on 12 for roofs above first floor level	5:12 MIN	C
	PARKING	6 Bedroom residence 4 spaces minimum	6 spaces	C
LANDSCAPING	FRONT YARD (2,095 SF)	min 60% less front stair (1,257 SF)	1424 sf (68%)	C
	TOTAL COVERAGE	min 35% less front stair (5,173.3 - 92) = 5,081.3 SF	5175 sf (35%)	C

03 01-04-2021 WJP GENERAL
02 12-22-2020 WJP GENERAL
01 10-22-2020 TAD REVISE LIS COVER

NO.	DATE	BY	DESCRIPTION

AWP

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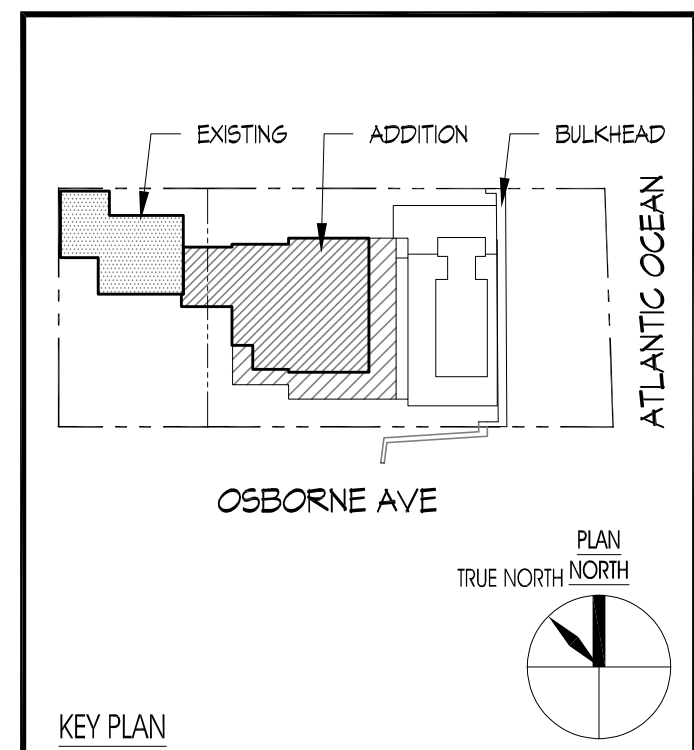
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SITE PLAN & BULKHEAD DETAILS
BLOCK 15 LOT 8 & 9
MARGATE ATLANTIC COUNTY NEW JERSEY
SCALE: 1" = 10'
DATE: 9/29/2020
BY: T DASE
PROJ. NO.: 34050

SHEET NO.
C-03
SHEET 3 of 3

Thomas J. Sykes, A.I.A., P.P.
Founding Principal
William A. Salerno, A.I.A., P.P.
Founding Principal
Mark Petrella, A.I.A.
Principal
Kimberly McCarron, NCARB
Principal
John DeRichte, R.A., A.I.A., NCARB
Principal

Mark Petrella
Mark Petrella - NJ License # 21A01260300



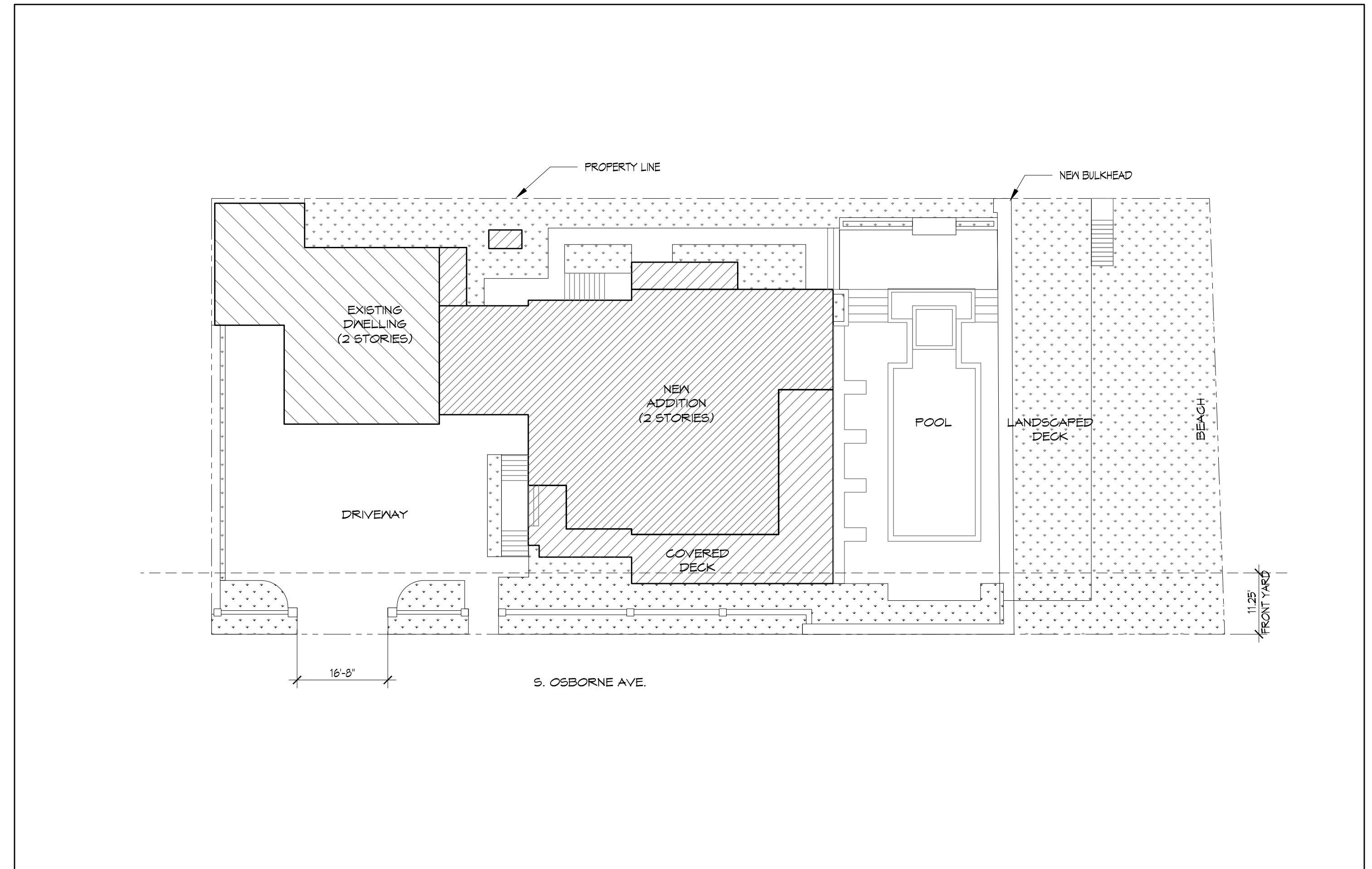
RUBIN RESIDENCE
117 South Osborne Avenue
Margate, New Jersey 08402
Block 15 / Lot 8 and 9

SUBMISSIONS

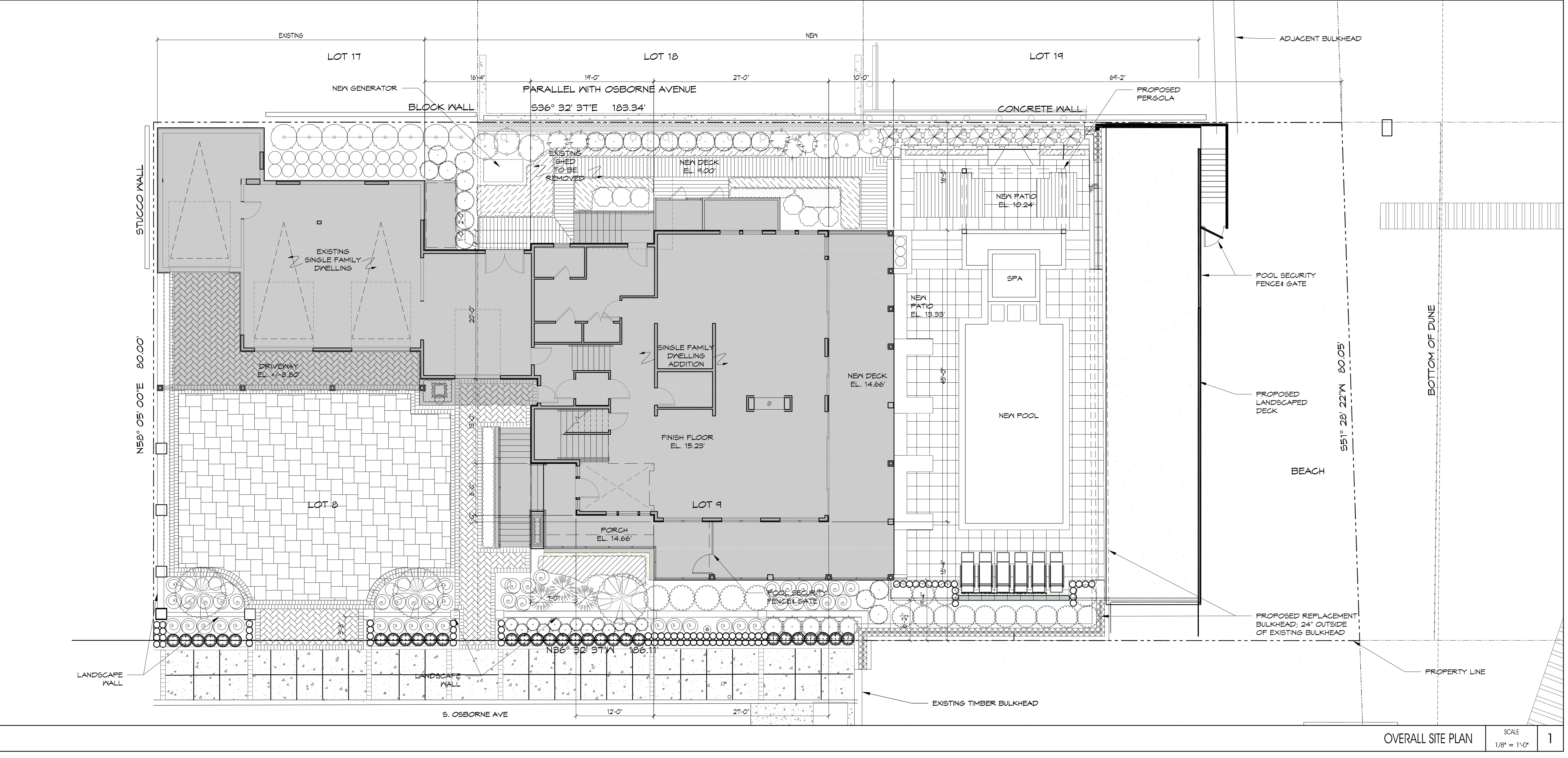
NO.	DATE	DESCRIPTION
1	01/04/2021	PLANNING BOARD SUBMISSION REVISION
2	10/23/2020	PLANNING BOARD SUBMISSION REVISION
3	10/01/2020	PLANNING BOARD SUBMISSION

DRAWING TITLE:
**OVERALL SITE PLAN,
COVERAGE PLAN**

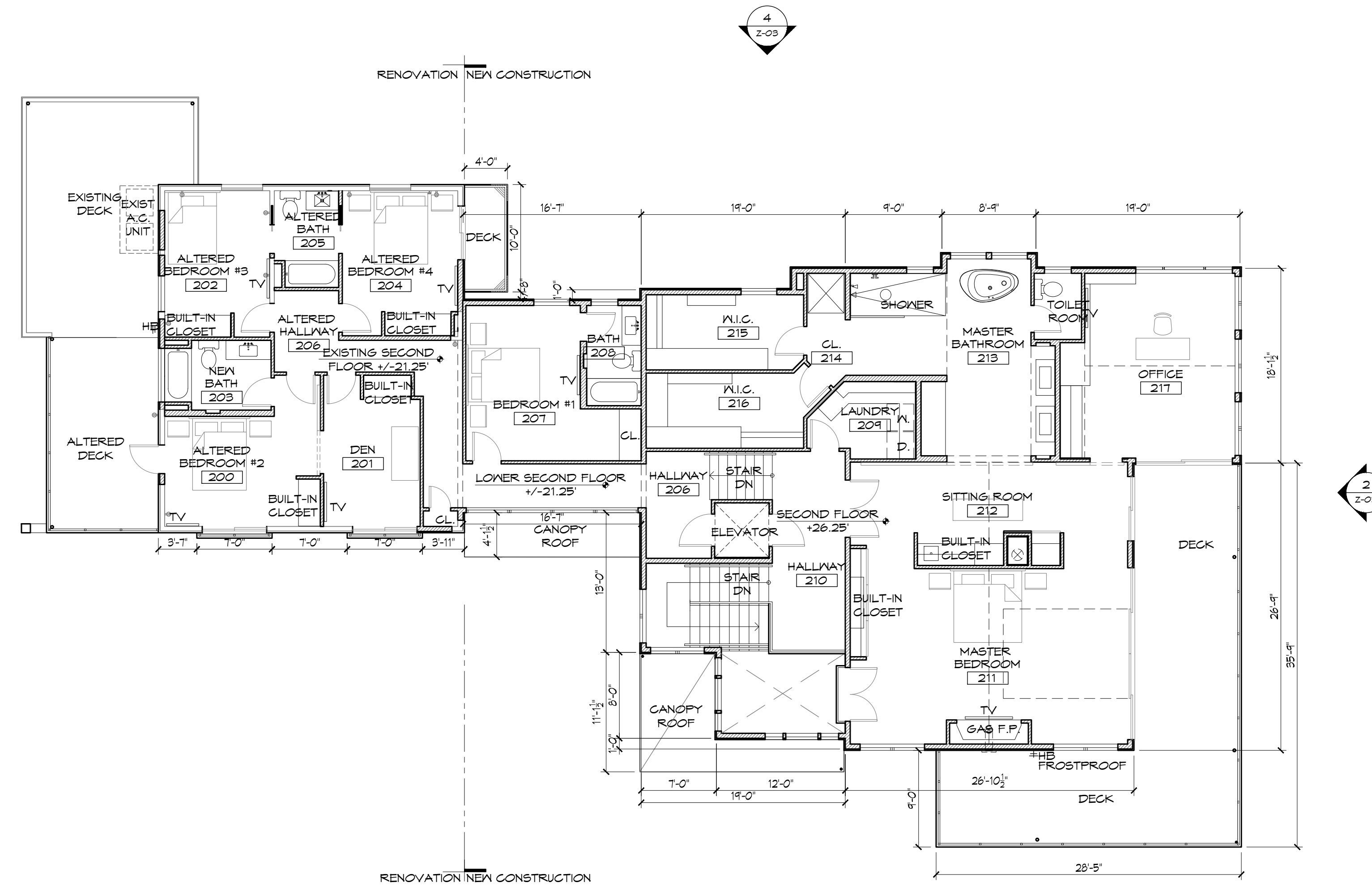
DRAWN BY:	JVT	DRAWING NO.:
REVIEWED BY:	MP	Z-01
PROJECT NO.:	18041.00	



COVERAGE PLAN SCALE 1/16" = 1'-0" 2

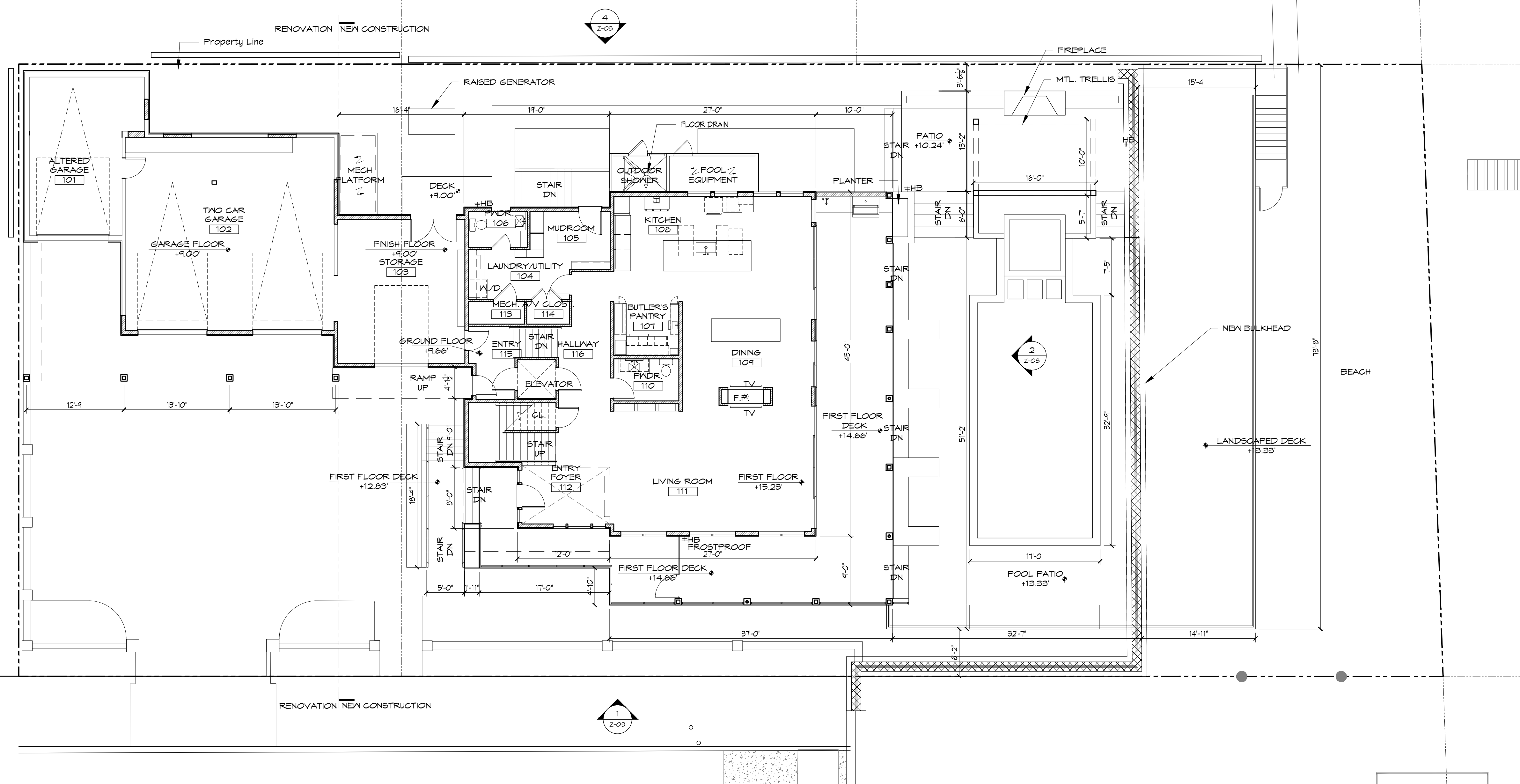


OVERALL SITE PLAN SCALE 1/8" = 1'-0" 1



SECOND FLOOR PLAN

SCALE
1/8" = 1'-0"



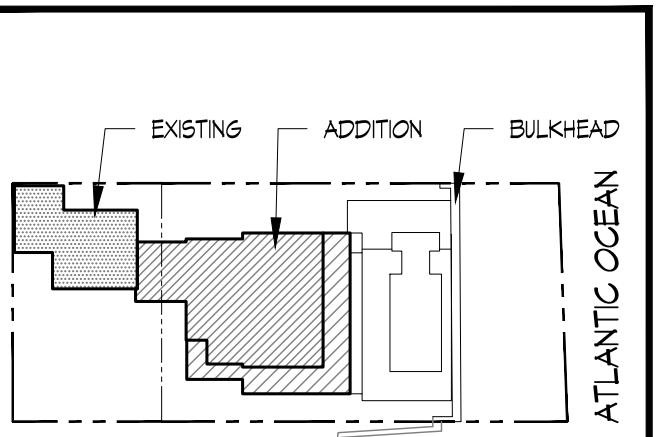
FIRST FLOOR PLAN

SCALE
1/8" = 1'-0"

SOSH
atlantic city, NJ - philadelphia, PA

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Mark Petrella
Mark Petrella - NJ License # 21A01260300



OSBORNE AVE
PLAN
TRUE NORTH

KEY PLAN

RUBIN RESIDENCE
117 South Osborne Avenue
Margate, New Jersey 08402

Block 15 / Lot 8 and 9

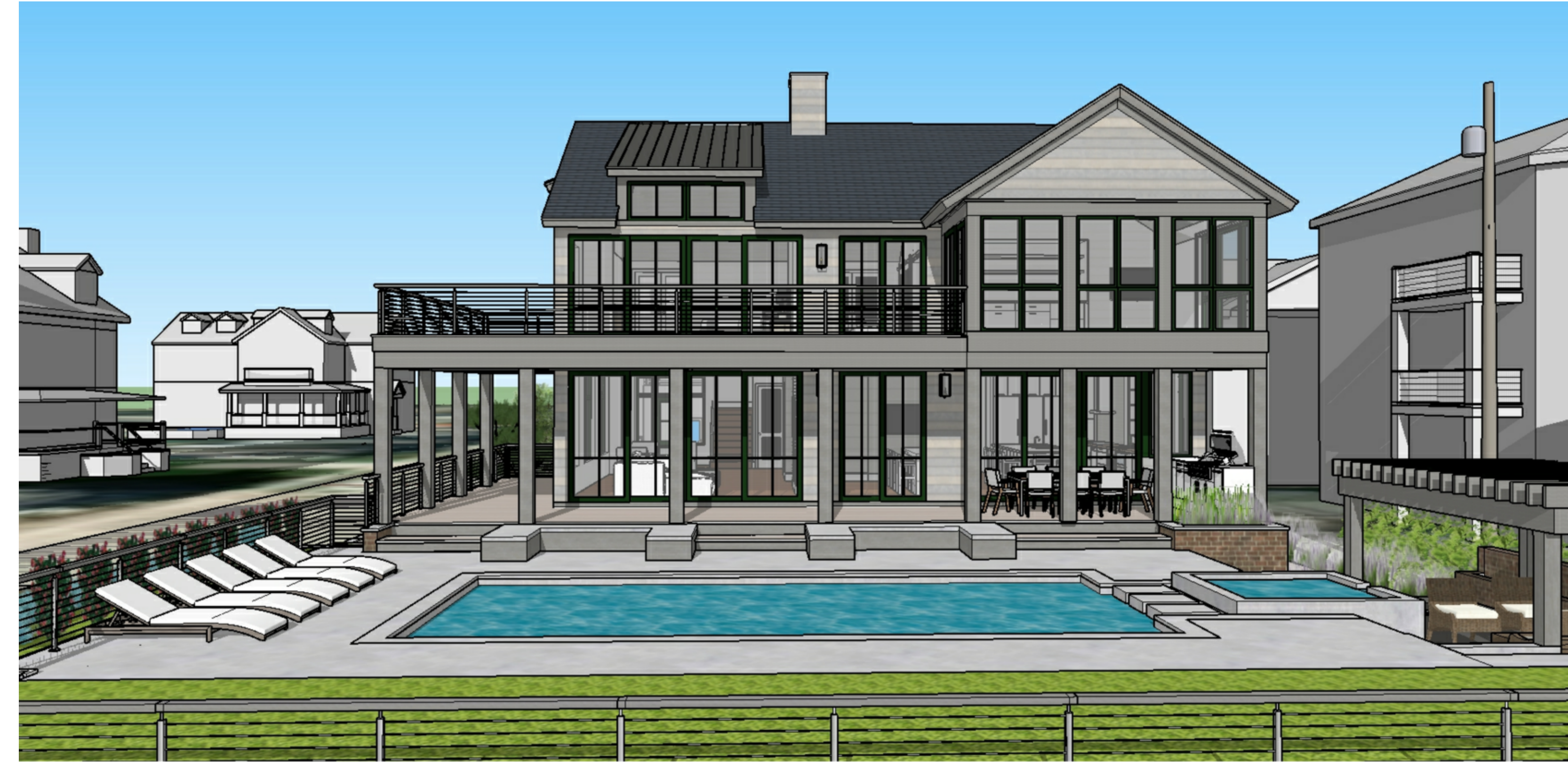
SUBMISSIONS

NO.	DATE	DESCRIPTION
1	01/04/2021	PLANNING BOARD SUBMISSION REVISION
2	10/23/2020	PLANNING BOARD SUBMISSION REVISION
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DRAWING TITLE:
**FIRST & SECOND
FLOOR PLANS**

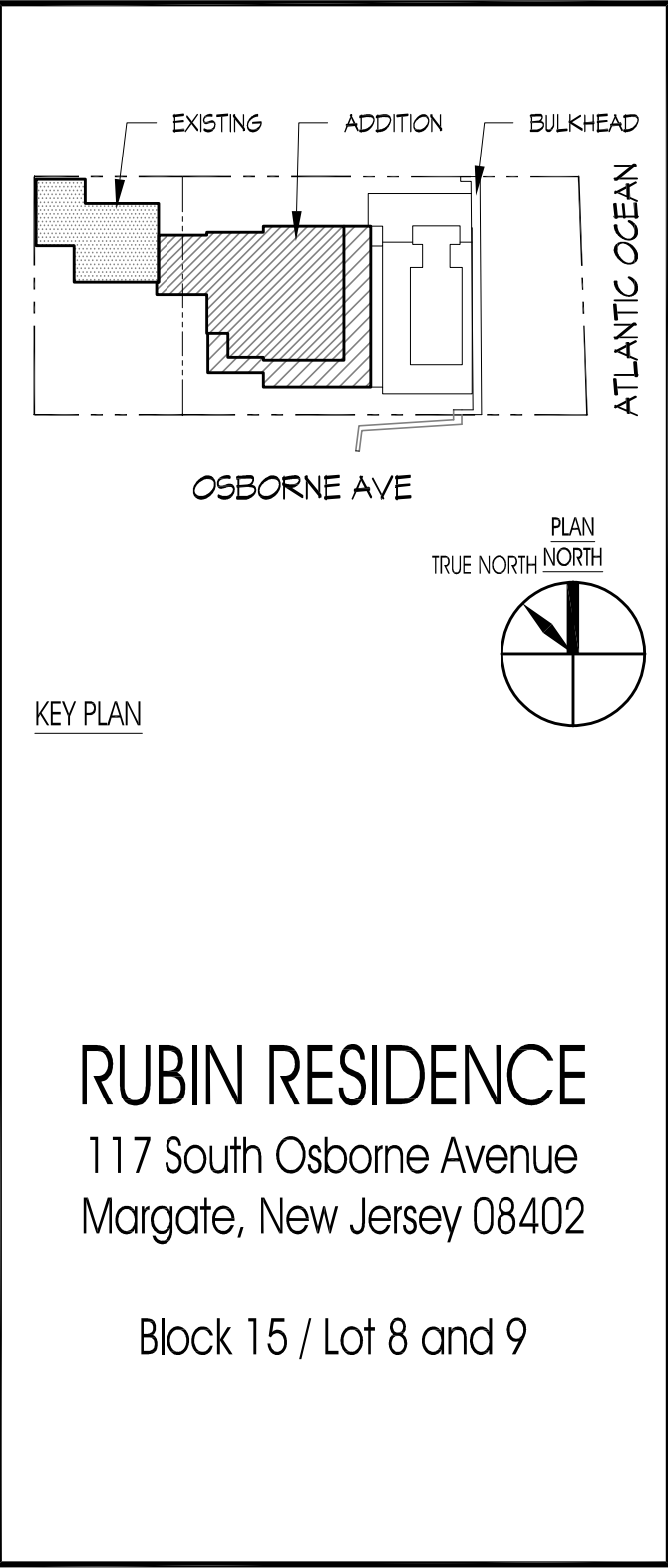
DRAWN BY: JVT
REVIEWED BY: MP
PROJECT NO.: 18041.00

DRAWING NO.:
Z-02



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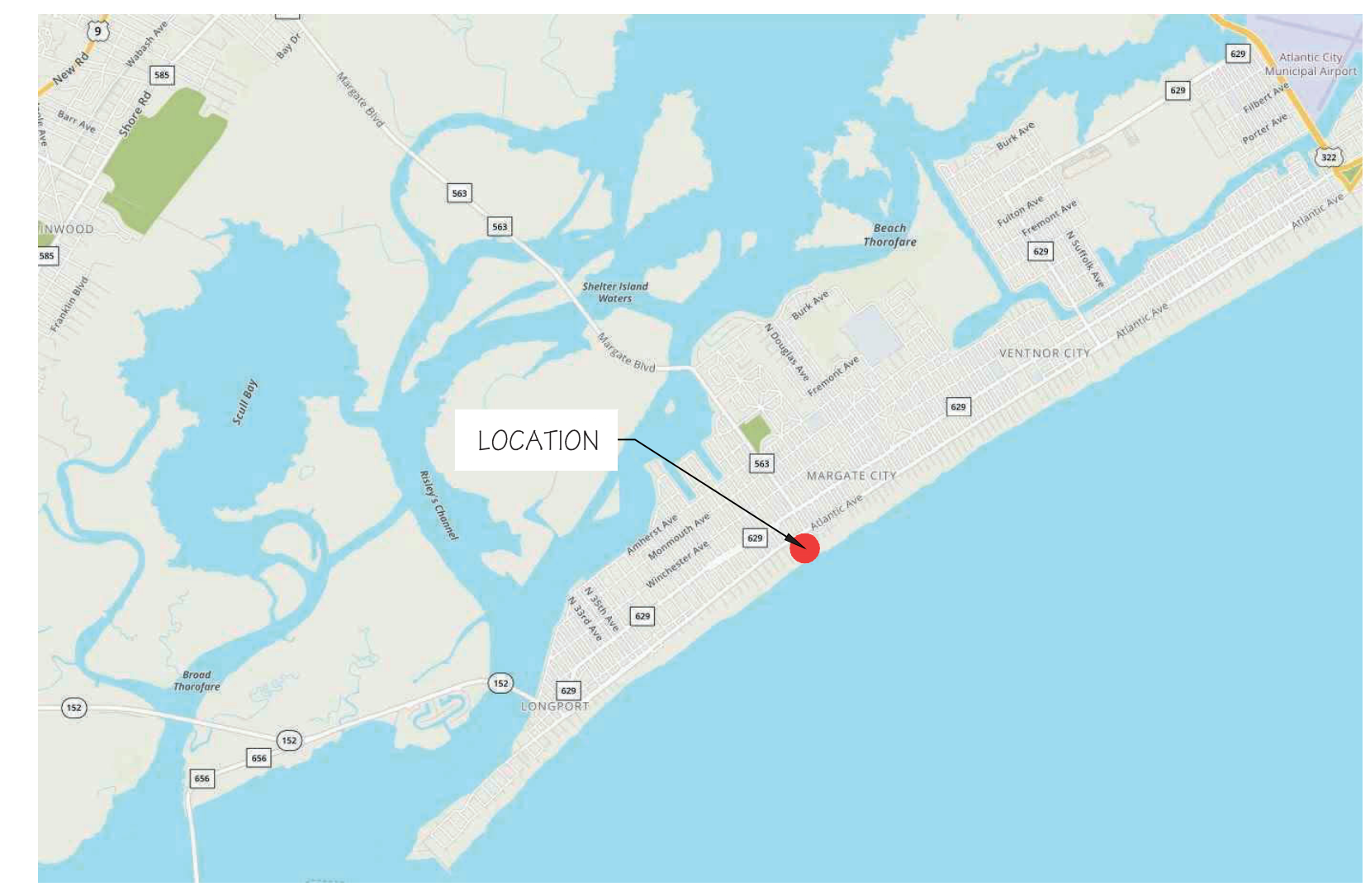
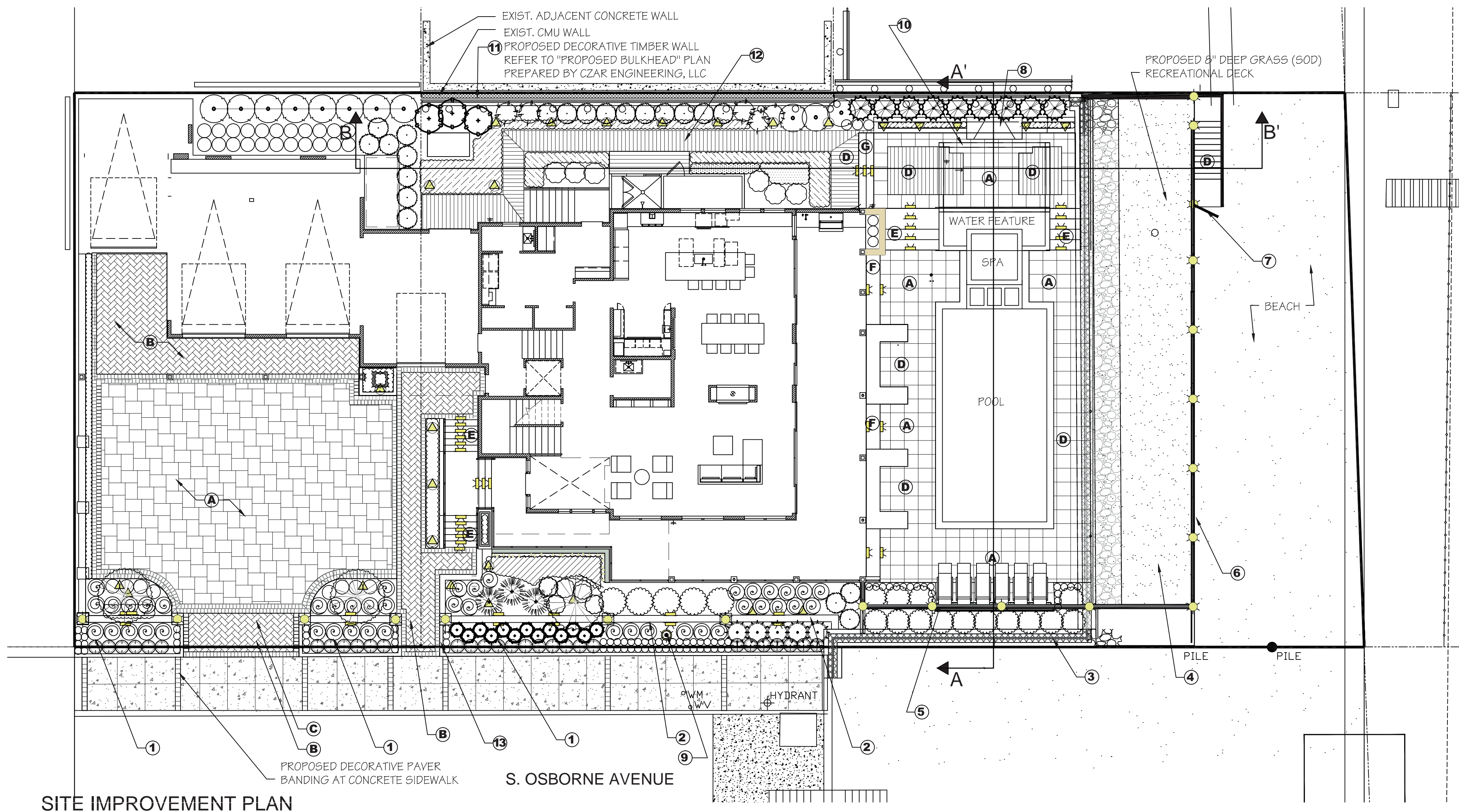
Mark Petrella
 Mark Petrella - NJ License # 21A01260300



SUBMISSIONS	
NO.	DATE DESCRIPTION
	01/04/2021 PLANNING BOARD SUBMISSION REVISION
	10/23/2020 PLANNING BOARD SUBMISSION REVISION
	10/01/2020 PLANNING BOARD SUBMISSION

DRAWING TITLE:
PERSPECTIVE VIEWS

DRAWN BY: JVT DRAWING NO.
 REVIEWED BY: IMP
 PROJECT NO. 18041.00
Z-04



LOCATION MAP

NOTES:

1. PLAN INFORMATION TAKEN FROM SITE SURVEY PREPARED BY ARTHUR W PONZIO & ASSOCIATES INC. AND ARCHITECTURAL DRAWINGS PREPARED BY SOSH ARCHITECTS AS WELL AS STRUCTURAL PLANS (PROPOSED BULKHEAD) PREPARED BY CZAR ENGINEERING LLC.
2. THE PLANS REPRESENT SITE CONDITIONS EXISTING AND PROPOSED SITE IMPROVEMENTS CONSISTENT WITH A DESIGN DEVELOPMENT LEVEL OF DETAIL.
3. THE PLAN IDENTIFIES AND COORDINATES DESIGN DEVELOPMENT OF THE ARCHITECTURAL PROGRAM, CIVIL ENGINEERING/STATE PERMITTING AND STRUCTURAL ENGINEERING SOLUTIONS FOR THE PROPOSED RESIDENTIAL EXPANSION AND OUTDOOR BUILT ENVIRONMENTS.
4. DETAILED DRAWING SETS FOR CONSTRUCTION WILL BE SUBMITTED AFTER ZONING APPROVAL AND PERMITTING HAS BEEN OBTAINED. (REFER TO EACH DESIGN DISCIPLINE.)
5. DRAWINGS TO BE SCALED FOR PURPOSES OF LOCATING PLANT MATERIAL, PLANTING BEDS, GROUND COVER AREAS AND OTHER SITE AMENITIES SHOWN. DRAWINGS ARE DIAGRAMMATIC; PLANT MATERIAL IS SUBJECT TO FIELD ADJUSTMENT.

SITE IMPROVEMENT PLAN

SCALE: 1" = 10'-0"

KEY - SITE FEATURES:

- ① 2'-0" HIGH DECORATIVE MASONRY WALL
- ② 4'-0" HIGH DECORATIVE MASONRY WALL
- ③ RELOCATED TIMBER BULKHEAD (SEE ENGINEERING PLANS)
- ④ RAISED GRASS (SOD) COVERED RECREATIONAL DECK
- ⑤ DECORATIVE 5' HIGH SOLID FENCE
- ⑥ DECORATIVE 5' HIGH CLEAR POOL FENCE
- ⑦ DECORATIVE 5' HIGH GATE W/ SELF-CLOSING SAFETY LATCH
- ⑧ FIREPLACE/VEGETATED WALL SYSTEM
- ⑨ LIGHTED FLAGPOLE
- ⑩ PERGOLA (SEE ARCHITECTURAL PLANS)
- ⑪ DECORATIVE TIMBER WALL
- ⑫ DECORATIVE RAISED COMPOSITE WALKWAY
- ⑬ DECORATIVE MASONRY PIER

LEGEND:

- PROPOSED TREE
- PROPOSED FLOWERING SHRUB
- PROPOSED ORNAMENTAL GRASS/PERENNIAL
- PROPOSED ORNAMENTAL GRASS/GROUNDCOVER AREA
- PROPOSED ORNAMENTAL GRASS/PERENNIAL BED
- PROPOSED SOD
- PROPOSED SAND AREA
- PROPOSED NATURAL STONE PAVER AREA
- PROPOSED BRICK PAVERS
- PROPOSED COMPOSITE PLANK PAVING
- PROPOSED BRICK PAVER BANDING
- PROPOSED CONCRETE PAVING

KEY - HARDSCAPE:

- (A) DIMENSIONAL NATURAL STONE (SANDSTONE)
- (B) DECORATIVE STONE (BRICK)
- (C) DECORATIVE STONE BANDING (BRICK)
- (D) COMPOSITE DECKING
- (E) DECORATIVE STONE STEPS
- (F) MONUMENTAL STEPS
- (G) COMPOSITE STEPS

KEY - LANDSCAPE SITE LIGHTING:

- INSET WALL/STEP LIGHT
- PATH LIGHT (BOLLARD)
- POST LIGHT
- LANDSCAPE LIGHTING

LANDSCAPE COMPLIANCE SCHEDULE

LANDSCAPE REQUIREMENT	REQUIRED QTY./AREA	PROPOSED QTY./AREA	COMPLIES
FRONT YARD LANDSCAPED AREA	>60% OF THE FRONT YARD AREA (2095 SF) OF OSBORNE AVENUE LESS FRONT STAIR AREA. OR 1257 SF	1472 SF OR 68%	YES
TOTAL LANDSCAPE COVERAGE	>35% OF TOTAL LOT AREA 14,781 SF LESS FRONT STAIR AREA OR 5,081.3 SF (OR 34.3%)	5175 SF (OR 35%)	YES
TREES IN FRONT OF RESIDENCE 8' H., 1 1/2" DIA. TRUNK	2	3	YES
QTY. OF SHRUBS 18" MIN HT. PER 165-24C (24 SHRUBS FOR 40' FRONTAGE PLUS 1 SHRUB PER EACH ADDITIONAL 2' OF FRONTAGE OVER 40')	113 (60% OR 68 MIN. IN FRONT YARD)	307 TOTAL (111 FRONT)	YES

NOTES:

GENERAL

1. Site information taken from architectural plans by SOSH Architects and Survey and Site Plan prepared by AW Ponzio Co, and Associates as well as structural plans by Czar Engineering LLC..
2. All information shown on the Landscape Site Plan is subject to field verification, revision, and amendments in accordance with the landscape architect and owner.

PROPOSED STREET TREES

Trees shall be per city approved list, shall be planted a minimum of 25 ft from the intersection, shall not block any signs, away from any overhead wires (if present), and shall be a minimum size of 3" caliper, 8' height at time of planting.

IRRIGATION

Lawn, planting and garden beds shall be watered by an automated sprinkler system. All heads, controls and associated materials to be installed pursuant to manufacturer recommendations and industry standards.

SHRUBS

A minimum of 113 shrubs shall be installed at a minimum height of 18". A minimum 60% of the shrubs shall be planted within the front yard area.

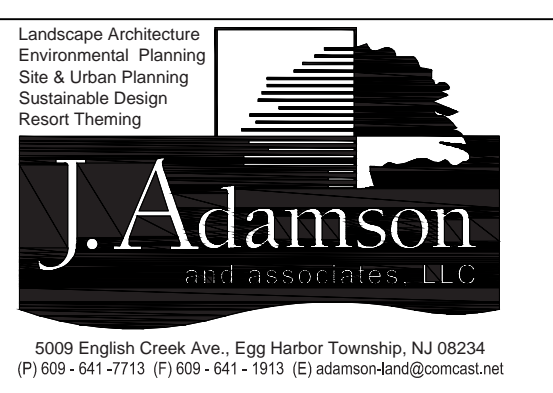
FENCE GATES

All fence gates shall be equipped with a self-closing/self-latching device. When pool is not in use, gates shall remain locked.

FENCE NOTES

Pool fence shall be no less than 5' high and no greater than 6' in height above finished grade. Fence and gate panels shall have no gaps or openings larger than 4" in any direction and shall be designed so as not to permit a toehold in order to climb over it. Fence shall be constructed of weather-resistant materials and shall be installed to prevent substantial alteration or deformation of the lawful openings.

FOR ZONING PERMIT ONLY. NOT FOR CONSTRUCTION.



RUBIN RESIDENCE
117 S. Osborne Avenue
Block 15, Lots 8 & 9
City of Margate, Atlantic County, New Jersey

DATE:	NO.	DATE:	DESCRIPTION:
08/10/2020	1	9/11/20	VARIANCE SUBMISSION
	2	10/23/20	REVISED SUBMISSION
	3	12/30/20	SUBMISSION

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JOSEPH P. ADAMSON, I.L.A., P.P.
LICENSED LANDSCAPE ARCHITECT
N.J. LIC. NO. A500086
PROFESSIONAL PLANNER
N.J. LIC. NO. 5124

DATE 12/30/20

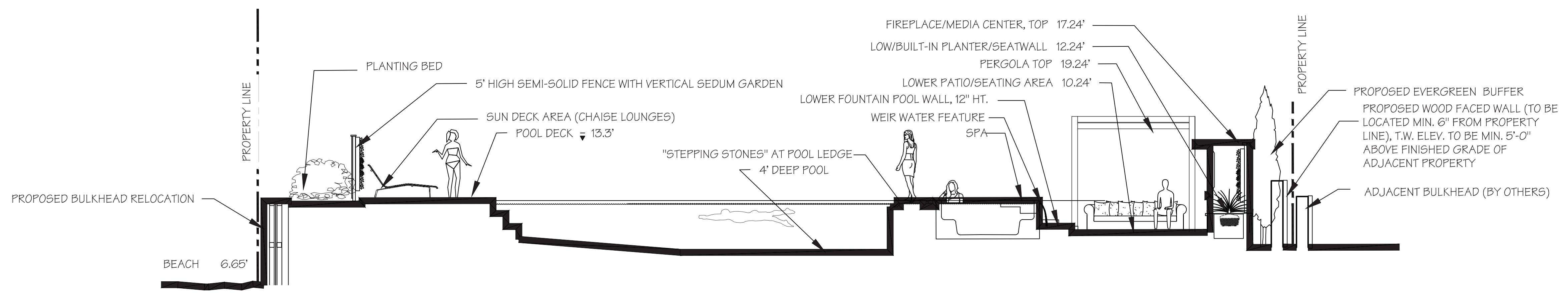
DRAWING TITLE:
LANDSCAPE SITE PLAN

PROJECT NO. RR20-19
 DRAWING NO. **SL1**

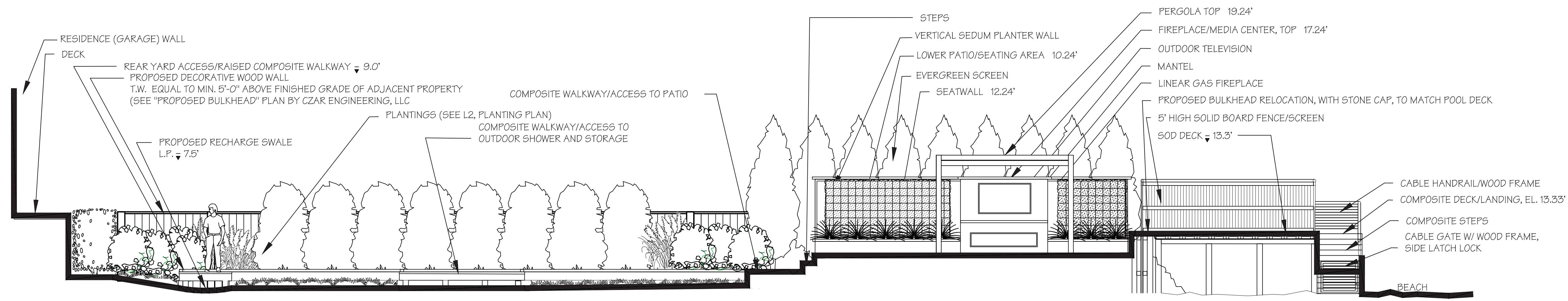
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City of Margate, Atlantic County, New Jersey

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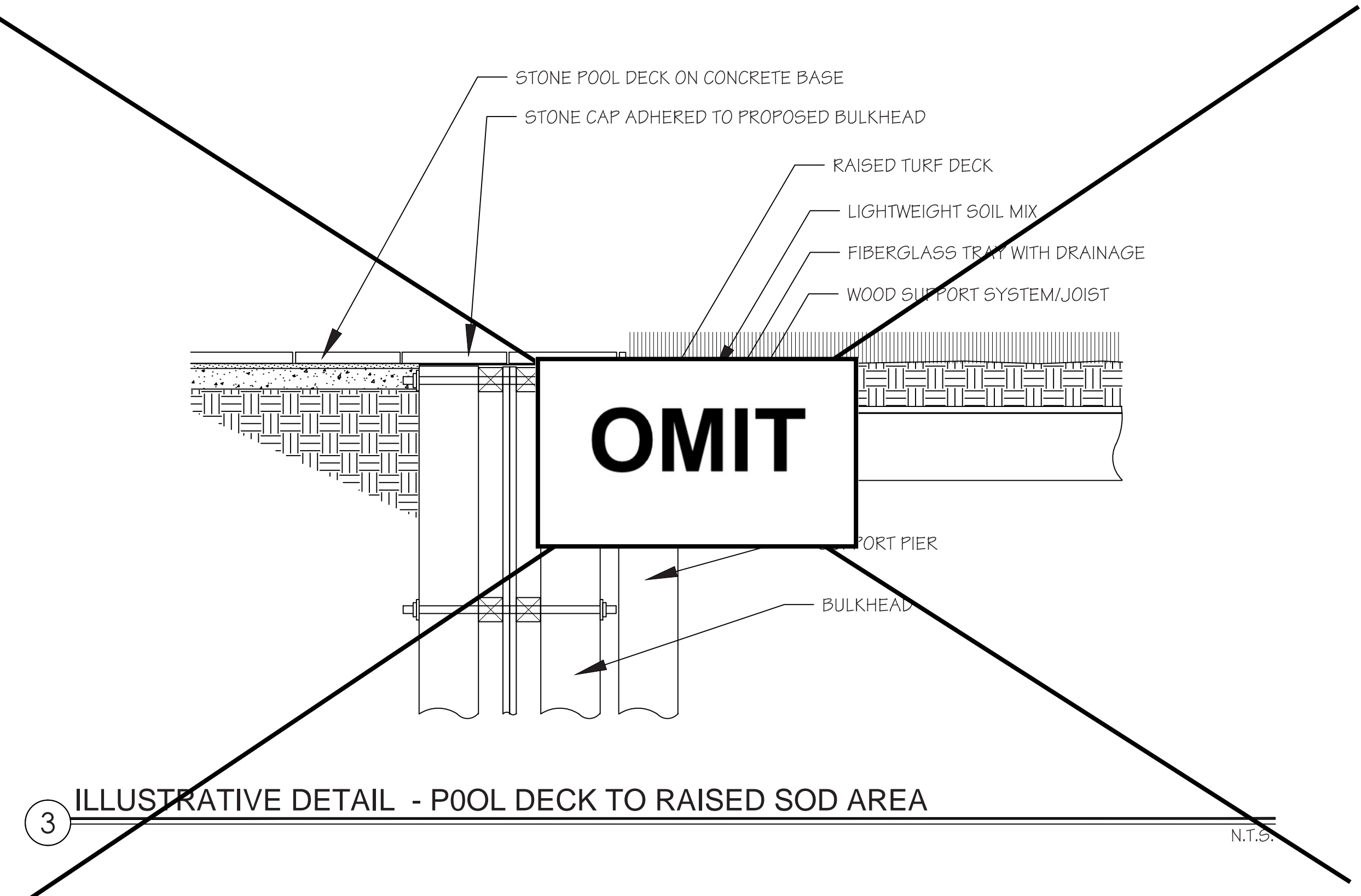
LANDSCAPE ARCHITECTURE - URBAN PLANNING - SITE PLANNING - ENVIRONMENTAL PLANNING



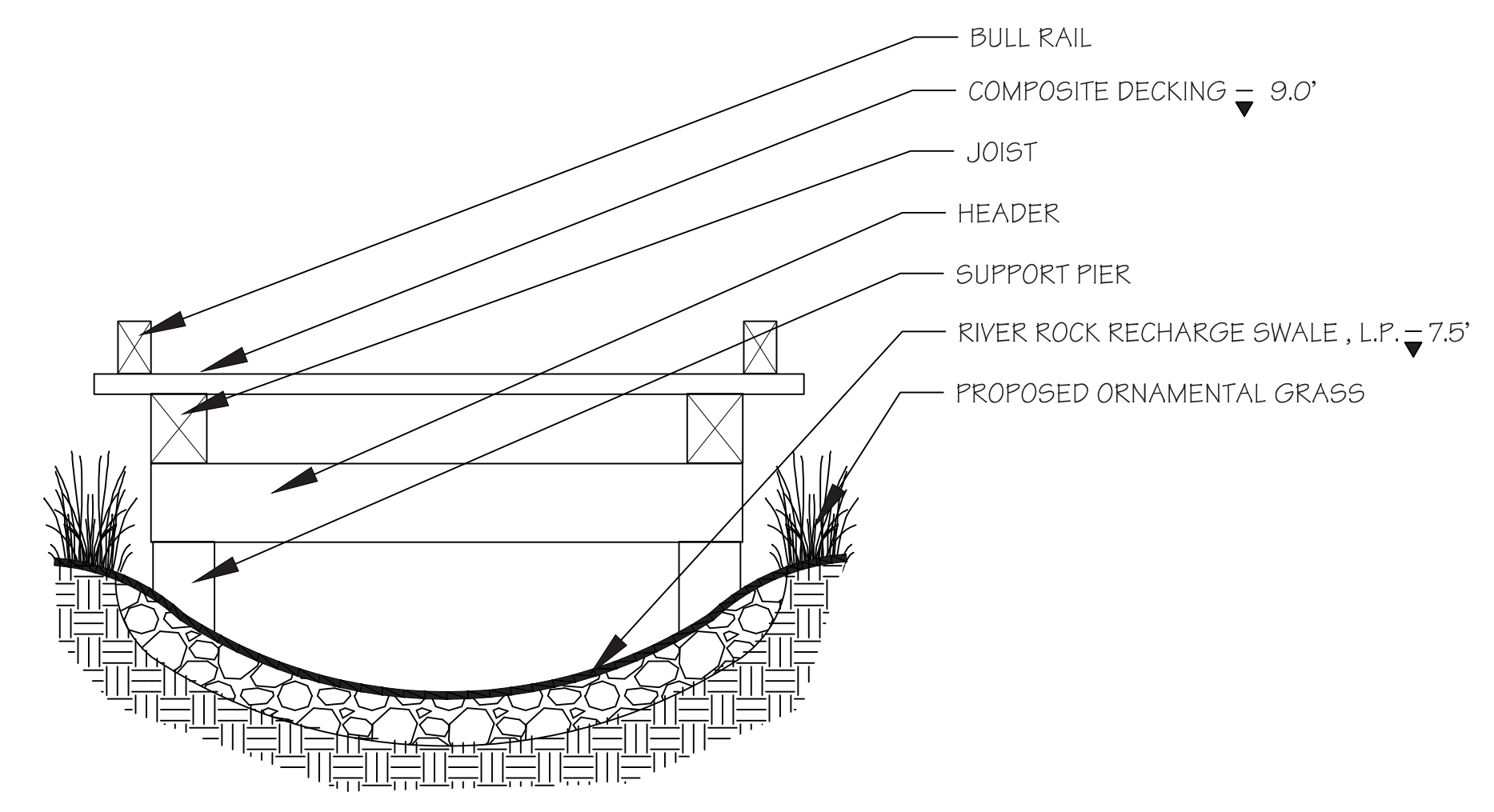
1 ILLUSTRATIVE ELEVATION A-A' SCALE: 1" = 5'-0"



2 ILLUSTRATIVE ELEVATION B-B' SCALE: 1" = 5'-0"



3 ILLUSTRATIVE DETAIL - POOL DECK TO RAISED SOD AREA N.T.S.




4 ILLUSTRATIVE DETAIL - RAISED COMPOSITE WALKWAY N.T.S.

DATE:		REVISIONS:	
08/10/2020		NO.	DATE
		1	9/11/20
DRAWN BY:	SB		VARIANCE SUBMISSION
DESIGNED BY:	"J"/SB	2	10/23/20
			REVISED SUBMISSION
CHECKED:	"J"	3	12/30/20
			SUBMISSION
SCALE:			

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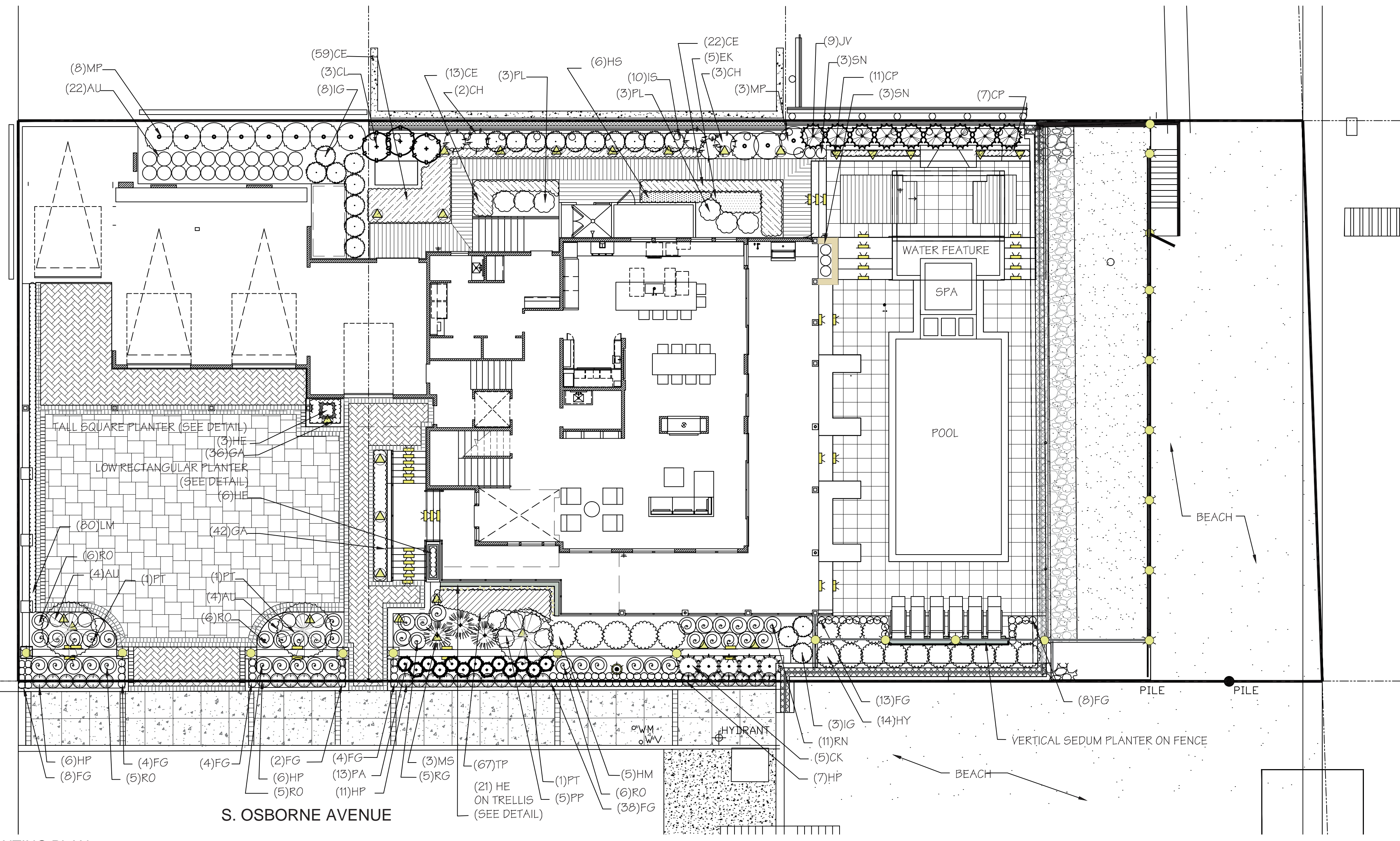
JOSEPH P. ADAMSON, I.L.A., P.P.
LICENSED LANDSCAPE ARCHITECT
N.J. LIC. NO. A500086
PROFESSIONAL PLANNER
N.J. LIC. NO. 5124

 DATE 12/30/20

DRAWING TITLE:
ILLUSTRATIVE ELEVATIONS & DETAILS

PROJECT NO. RR20-19
 DRAWING NO. **SL2**

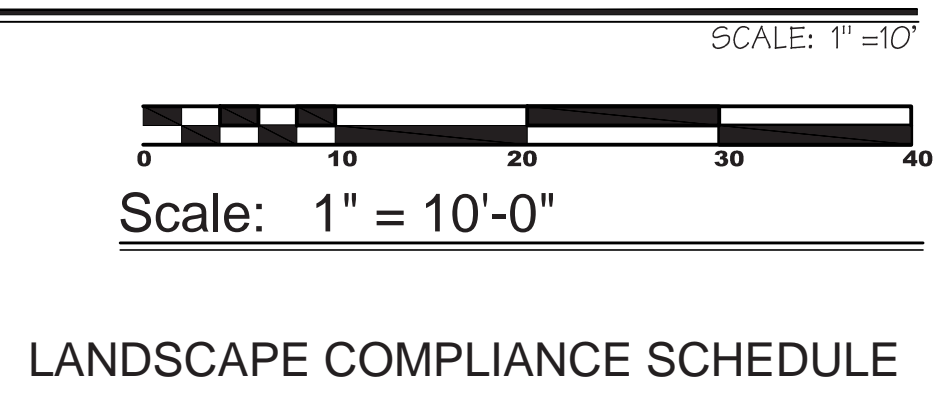
RUBIN RESIDENCE
117 S. Osborne Avenue
Block 15, Lots 8 & 9
City of Margate, Atlantic County, New Jersey



- LEGEND:**
- PROPOSED TREE
 - PROPOSED FLOWERING SHRUB
 - PROPOSED ORNAMENTAL GRASS/PERENNIAL
 - PROPOSED ORNAMENTAL GRASS/GROUNDCOVER AREA
 - PROPOSED ORNAMENTAL GRASS/PERENNIAL BED
 - PROPOSED SOD
 - PROPOSED SAND AREA
 - PROPOSED NATURAL STONE PAVER AREA
 - PROPOSED BRICK PAVERS
 - PROPOSED COMPOSITE PLANK PAVING
 - PROPOSED BRICK PAVER BANDING
 - PROPOSED CONCRETE PAVING

PLANTING PLAN SCALE: 1" = 10'

PLANT SCHEDULE					
KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	NOTES
EVERGREEN TREE					
JV	JUNIPERUS CHINENSIS 'TORULOSA'	HOLLYWOOD JUNIPER	9	8', B&B	'SHEARED HEDGE'
PT	PINUS THUNBERGII	JAPANESE BLACK PINE	3	16'-18', B&B	SINGLE STEM SPECIMEN, LIMBED TO 6'
SHRUB					
CL	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	'HUMMINGBIRD' SWEET PEPPERBUSH	3	24"-30", #5 CAN.	
HM	HYDRANGEA 'ENDLESS SUMMER'	ENDLESS SUMMER HYDRANGEA	5	#5 CAN.	
HY	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME PANICLED HYDRANGEA	14	#3 CAN.	
HP	HESPERALOE PARVIFLORA 'BRAKELIGHTS'	RED YUCCA	30	#2 CAN.	
IS	ILEX CRENATA 'STEEDS'	STEEDS HOLLY	10	5'-6', B&B	
IG	ILEX GLABRA 'SHAMROCK'	COMPACT INKBERRY	11	24"-30", B&B	
MP	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	11	30"-35", B&B	
PL	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN CHERRY LAUREL	6	24"-30", B&B	
PP	PIERIS JAPONICA 'PRELUDE'	PRELUDE JAPANESE PIERIS	5	24", B&B	
RN	ROSA X 'NOATRUM'	PINK KNOCK OUT ROSE	11	24" - 30", #7 CAN.	
RG	ROSA RUGOSA 'RASPBERRY RUGOSTAR'	RASPBERRY RUGOSTAR RUGOSA ROSE	5	24" - 30", #7 CAN.	
GROUNDCOVER					
AU	ARCTOSTAPHYLOS UVA-URSI 'MASSACHUSETTS'	BEARBERRY	34	#1 CAN.	24" O.C.
LM	LIRIOPE MUSCARI (VARIGATED)	LILY TURF	80	2YR., 3" P.P.	8" O.C.
TP	THYMUS PSUDOLANGINOSUS	WOOLLY THYME	67	#1 CAN.	12" O.C.
ORNAMENTAL GRASS					
CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	5	#3 CAN.	
CE	CAREX ELATA AUREA	GOLDEN SEDGE	94	#1 CAN.	18" O.C.
CP	CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	18	#1 CAN.	12" O.C.
CH	CHASMANTRUM LATIFOLIUM 'RIVER MIST'	RIVER MIST NORTHERN SEA OATS	5	#3 CAN.	
FG	FESTUCA GLAUCA 'CASCAI'	'BEYOND BLUE' FESCUE	86	#1 CAN.	
HE	HELICOTRICHON SEMPERVIRENS	BLUE OAT GRASS	9	#2 CAN.	
MS	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT MAIDEN GRASS	3	#5 CAN.	
PA	PENNISETUM ALOPECUROIDES 'MONDRY'	MONDRY FOUNTAIN GRASS	13	#3 CAN.	
SN	SORGHASTRUM NUTANS 'INDIAN STEEL'	INDIAN STEEL INDIAN GRASS	6	#2 CAN.	
PERENNIAL					
EK	ERICA PURPUREA 'MISS KIM'	MISS KIM PURPLE CONEFLOWER	5	#2 CAN.	18" O.C.
GA	GALLARDIA 'MESA YELLOW'	MESA YELLOW GAILLARDIA	78	#1 CAN.	12" O.C.
HS	HEMEROCALLIS 'STELLA DORO'	YELLOW REBLOOMING DAYLILY	6	#1 CAN.	18" O.C.
VINE					
TJ	TRACHELOSPERMUM JASMINOIDES 'MADISON'	STAR JASMINE	21	#1 CAN.	12" O.C. (AT SUPPORT BASES)



LANDSCAPE COMPLIANCE SCHEDULE

FOR ZONING PERMIT ONLY. NOT FOR CONSTRUCTION.
 LANDSCAPE ARCHITECTURE - URBAN PLANNING - SITE PLANNING - ENVIRONMENTAL PLANNING

DATE: 08/21/2020	REVISIONS:
DRAWN BY: SB	NO. DATE DESCRIPTION
DESIGNED BY: "J"/SB	1 8/11/20 VARIANCE SUBMISSION
CHECKED: "J"	2 10/23/20 REVISED SUBMISSION
SCALE: 1" = 10"	3 12/30/20 SUBMISSION

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LICENSED LANDSCAPE ARCHITECT
N.J. LIC. NO. A500086
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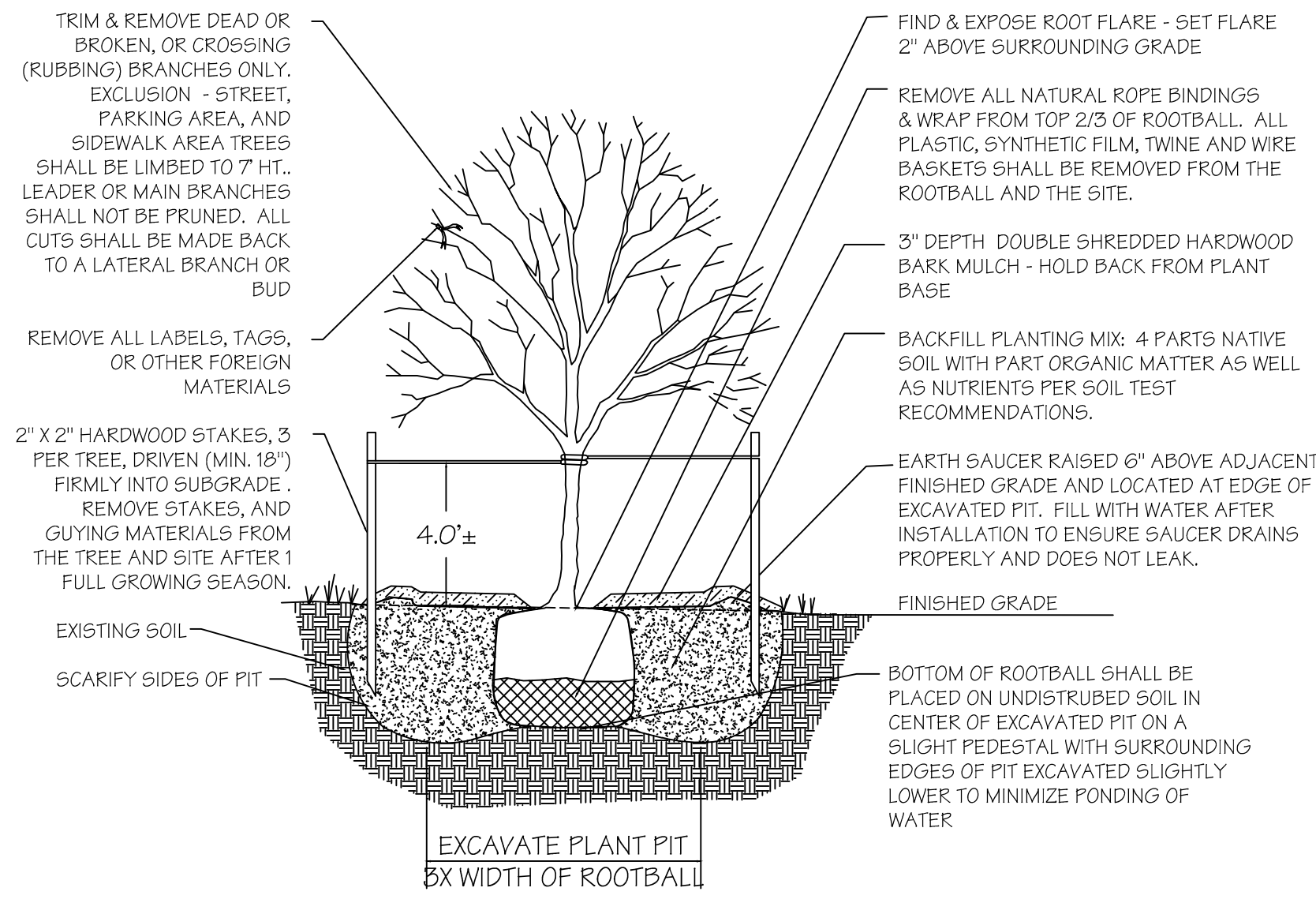
DATE 12/30/20

DRAWING TITLE:
PLANTING PLAN

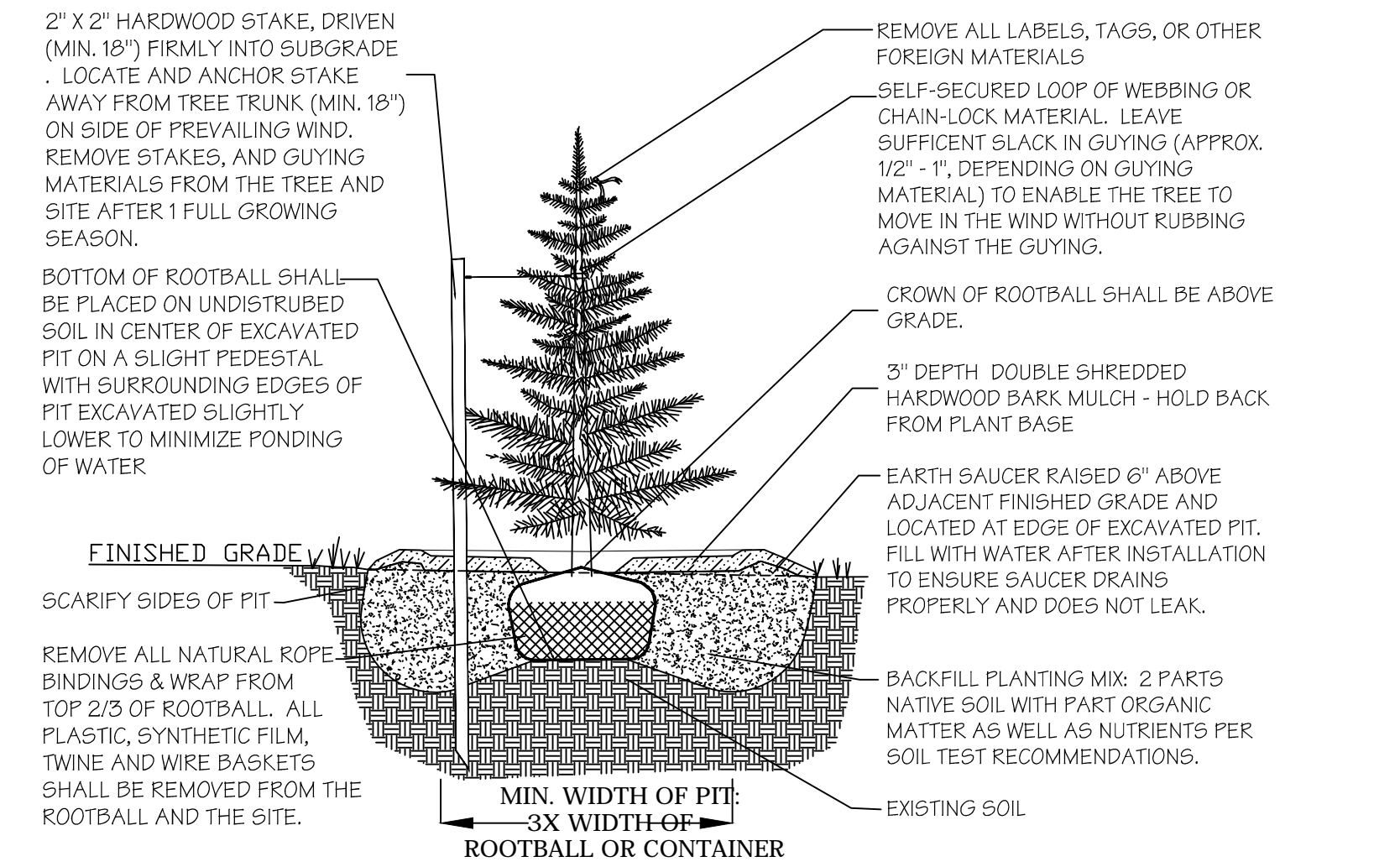
PROJECT NO. RR20-19
 DRAWING NO. **SL3**

TREE PLANTING NOTES:

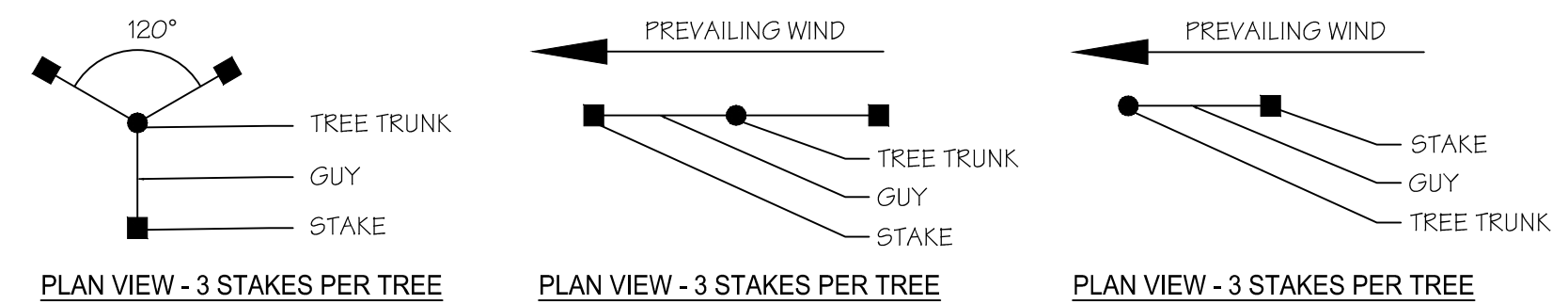
- TREE TO BE SET PLUMB.
- CONTRACTOR SHALL ENSURE THAT THERE ARE NO VOIDS IN THE SOIL WHEN INSTALLING AND BACKFILLING.
- AREA PROTECTION: PROTECT PREPARED AREAS FROM CONSTRUCTION ACTIVITIES. DO NOT ALLOW AREAS TO BECOME COMPACTED OR DISTURBED BY SUBSEQUENT WORK.
- CONTAINER PLANTS: FOR TREES GROWN IN CONTAINERS, REMOVE CONTAINER THEN SCARIFY SIDES AND BOTTOM TO BREAK UP ROOT MASS.



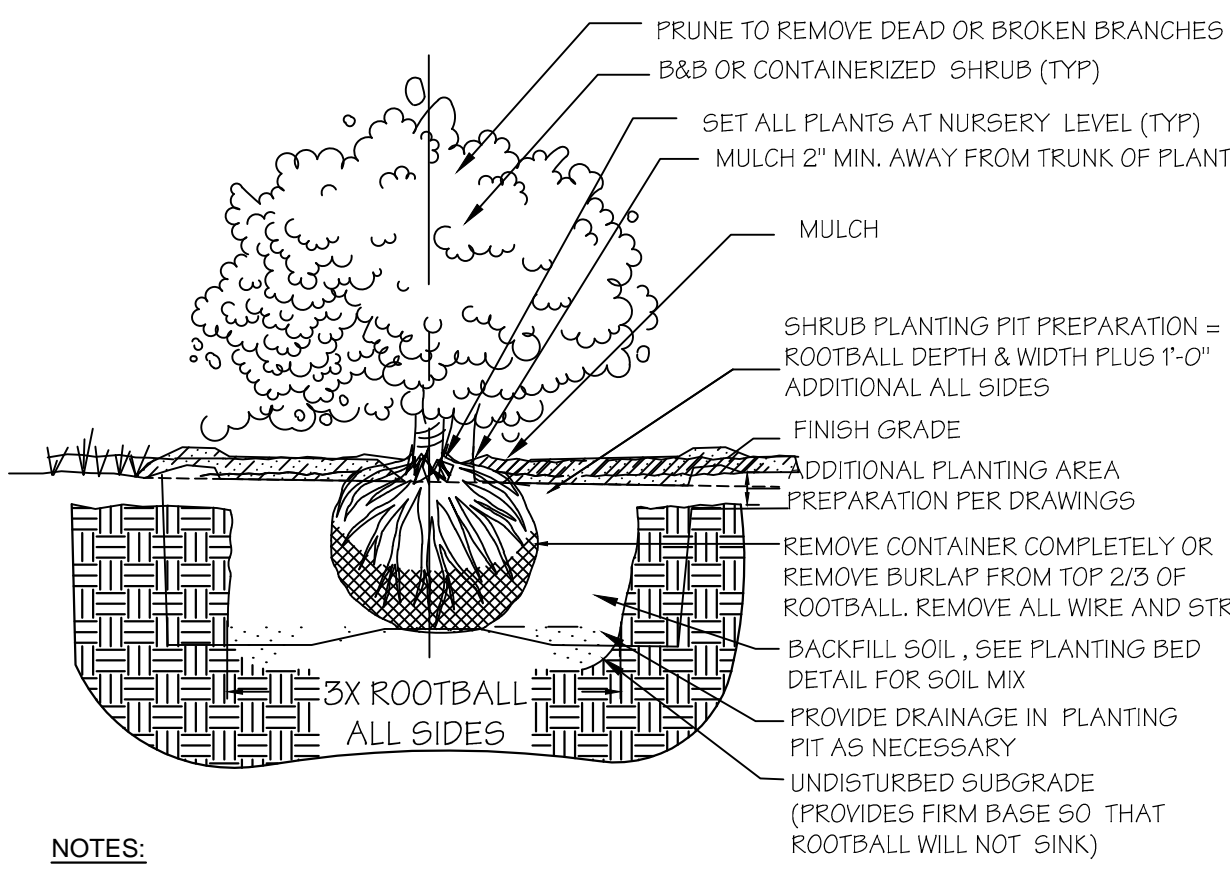
1 SINGLE STEM SPECIMEN TREE (BLACK PINES) N.T.S.



2 UPRIGHT/CONICAL EVERGREEN TREE N.T.S.

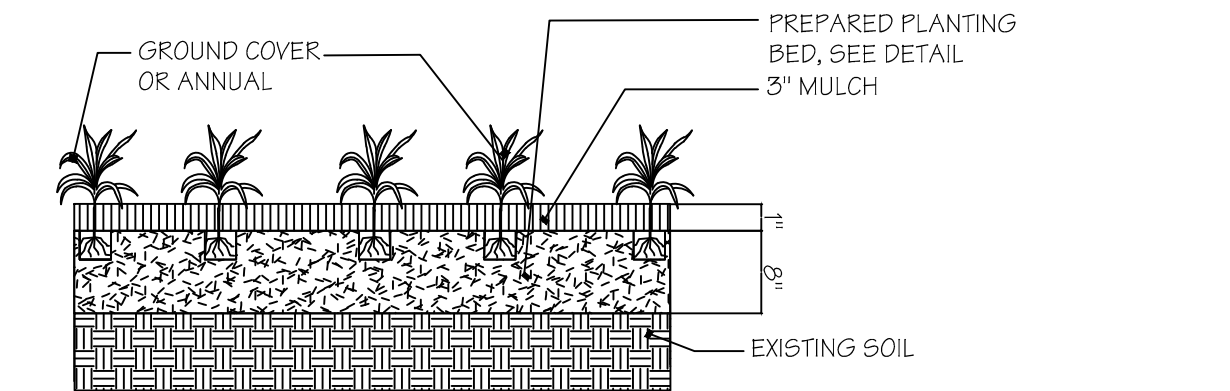


3 TREE STAKING AND GUYING LAYOUT N.T.S.

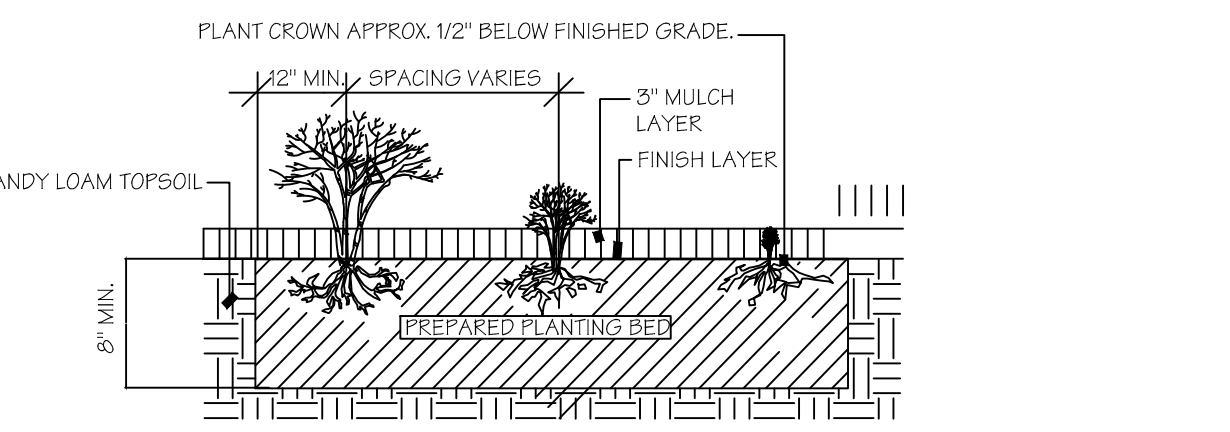


- NOTES:**
- REMOVE ALL TAGS, TWINE OR OTHER NON-BIODEGRADABLE MATERIALS ATTACHED TO PLANT.
 - SOIL LEVEL TO BE SLIGHTLY HIGHER THAN SURROUNDING GRADE TO ALLOW FOR BACKFILL SETTLING.
 - FOR CONTAINERIZED SHRUBS, REMOVE CONTAINER AND LOOSEN ROOTS OF POTBOUND PLANTS BY SCORING OR PULLING.

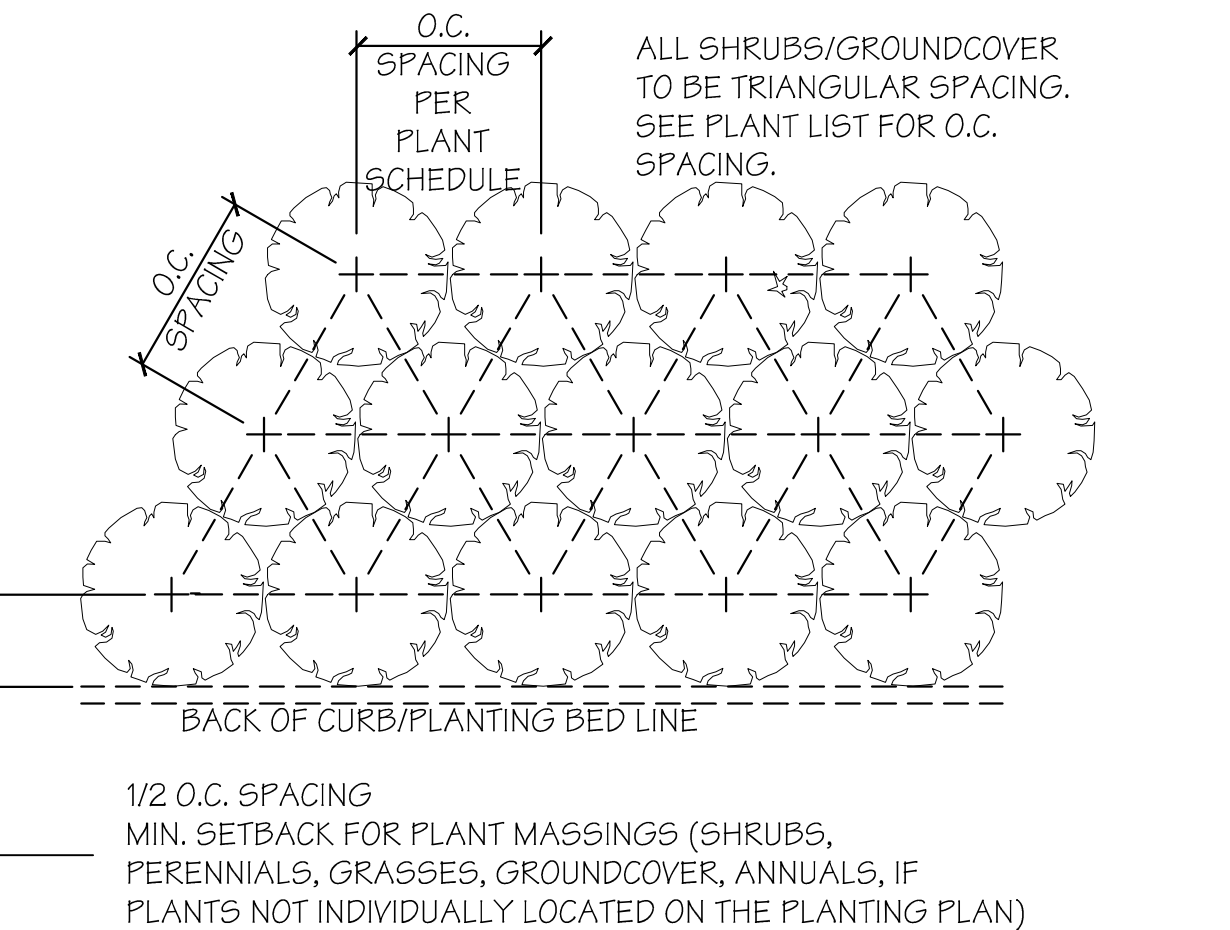
4 LARGE SHRUB DETAIL N.T.S.



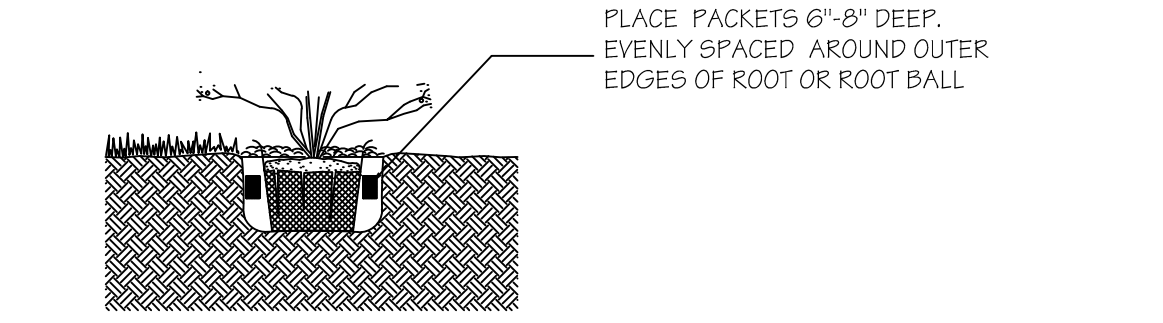
5 GROUND COVER DETAIL N.T.S.



6 GRASS/PERENNIAL PLANTING DETAIL N.T.S.

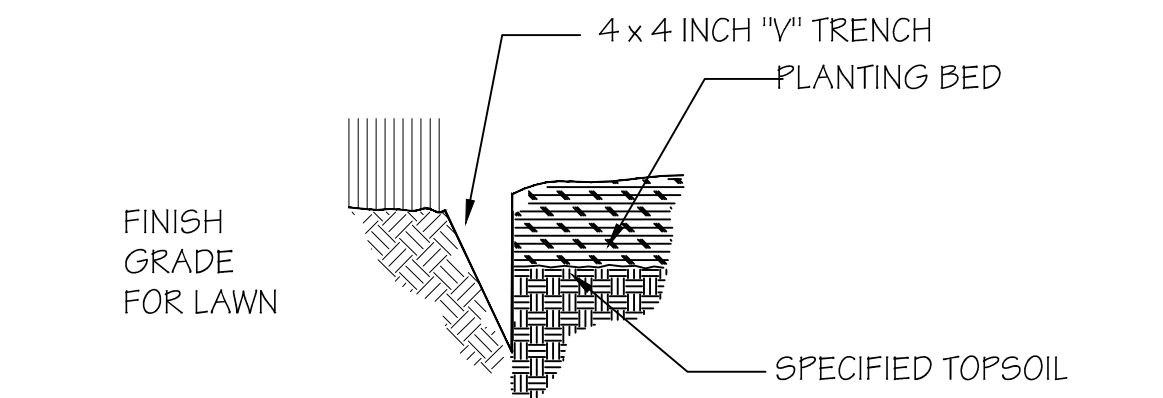


7 PLANT SPACING DETAIL N.T.S.



- SPECIFICATIONS:**
- SET TOP OF ROOTBALL EVEN WITH GROUND LEVEL. (SITES WITH POOR DRAINAGE, 1\"/>

8 NUTRI-PAK OR EQUAL SLOW RELEASE FERTILIZER APPLICATION N.T.S.

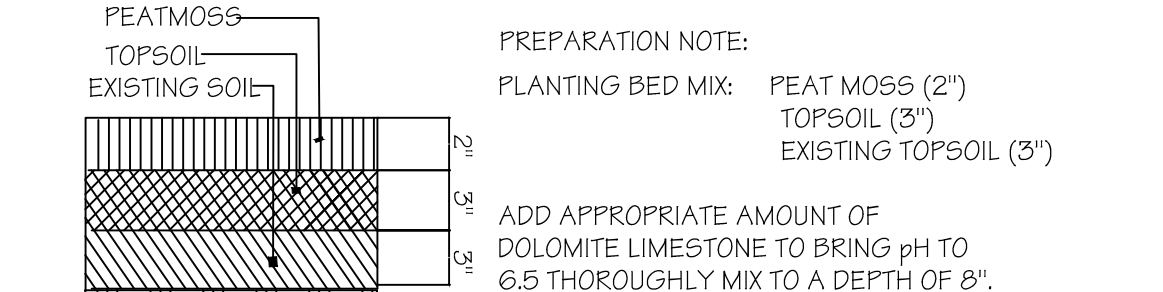


9 LANDSCAPE EDGING DETAIL N.T.S.

- SOIL PREPARATION NOTES:**
- PLANTING BED MIX PER EVERY 8\"/>

ADD APPROPRIATE AMOUNT OF DOLOMITE LIMESTONE TO BRING pH TO 6.5 THOROUGHLY MIX TO A APPROPRIATE DEPTH PER DETAIL.

TREAT THE PLANTING MIX WITH WATER CRYSTALS (OR EQUIVALENT) AT A RATE OF 1.5 TSP. DRY CRYSTALS PER GALLON OF SOIL, OR 2 CUPS OF EXPANDED GEL PER GALLON OF SOIL. (REDUCE THESE RATES BY 50% FOR HEAVY SOIL INCREASE THEM BY 50% FOR VERY POROUS OR SANDY SOIL.) PLACE A PORTION OF THE TREATED SOIL INTO THE BOTTOM OF THE HOLE, SET THE PLANT IN PLACE, AND FILL THE REMAINING TREATED SOIL IN AROUND THE SIDES OF THE PLANT. THE TOP 1-2 INCHES OF THE PLANTING HOLE MUST BE FILLED WITH UNTREATED PLANTING MIX. THOROUGHLY WATER TO FULLY HYDRATE THE WATERSMART CRYSTALS.



10 PLANTING BED N.T.S.

2 YEAR LANDSCAPE MAINTENANCE SCHEDULE

Maintenance / care	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Transplanting Large Trees												
Transplanting Small Trees and Shrubs												
Pruning Shade (foliage) Trees												
Pruning Flowering Trees and Shrubs												
Fertilizing												
Anestizing and Conditioning Soil												
Spraying for Control of Scale on Dormant Plants												
Spraying Shade Trees (pest & disease control)												
Spraying Evergreens (pest & disease control)												
Spraying Fruit Trees (pest & disease control)												
Gassing Borers												
Watering / Irrigation												
Removing Undesirable Trees												
Winterizing Trees & Shrubs												

■ Most Important ▨ Also Recommended

General Notes:

Watering:
First six (6) months:
 New landscaping shall be water twice for the first two (2) months after planting and once per week for the next four (4) months.
After six (6) months:
 During drought periods in the months of June-October, water thoroughly once or twice per week.

General Maintenance Notes:
 Shrubs and understory trees along fuel break shall be pruned on an annual basis according to fire hazard mitigation standards.

All dead plan material shall be removed in a timely fashion.

PLANTING NOTES

- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS AND CLEAN UP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. ALL PLANTING SHALL BE INSTALLED AT THE LOCATIONS INDICATED ON THE DRAWINGS. MINOR ADJUSTMENTS TO PLANTING LOCATIONS MAY BE NECESSARY DUE TO FIELD CONDITIONS AND FINAL GRADING. THE CONTRACTOR SHALL ENSURE THAT LANDSCAPE INSTALLATION DOES NOT INTERRUPT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS. THE CONTRACTOR SHALL NOTIFY THE OWNER IF MAJOR ADJUSTMENTS ARE REQUIRED.
- SHRUBS AND GROUND COVER SHALL BE PLACED IN CONTINUOUS MULCH BEDS 3\"/>

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RUBIN RESIDENCE
 117 S. Osborne Avenue
 Block 15, Lots 8 & 9
 City of Margate, Atlantic County, New Jersey

DATE: 08/10/2020

REVISIONS:

NO.	DATE	DESCRIPTION
1	9/11/20	VARIANCE SUBMISSION
2	10/23/20	REVISED SUBMISSION
3	12/30/20	SUBMISSION

DRAWN BY: SB

DESIGNED BY: JJSB

CHECKED: JJS

SCALE:

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LICENSED LANDSCAPE ARCHITECT
N.J. LIC. NO. A500086
PROFESSIONAL PLANNER
N.J. LIC. NO. 5124

(Signature) DATE 12/30/20

PLANTING DETAILS

PROJECT NO. RR20-19
DRAWING NO. SL4